

IDENTIFICATION OF INTENSIFICATION AREAS

3.1 CROYDON LOCAL PLAN

3.1.1 To achieve the current housing target of the Croydon Local Plan, the areas of focussed intensification were identified from evidence which indicated that they were areas with established infrastructure but relatively low density and the potential to accommodate a significant increase in residential development to meet the borough's housing target. The areas of focussed intensification are:

- The area around KENLEY station;
- The area around FORESTDALE Neighbourhood Centre;
- BRIGHTON ROAD (Sanderstead Road) Local Centre with its setting; and
- Settings of SHIRLEY Local Centre and Shirley Road Neighbourhood Centre.

3.1.2 Policy DM10.11 of the Croydon Local Plan provides the policy in which development in areas of focussed intensification should be assessed against. It states that; *'Developments in focussed intensification areas should contribute to an increase in density and a gradual change in character. They will be expected to enhance and sensitively respond to existing character by being of high quality and respectful of the existing place in which they would be placed'*.

3.1.3 Furthermore, the Croydon Local Plan sets out how Croydon will accommodate growth and improvement through different methods, one of which being focussed intensification associated with change of area's local character. Specifically, supporting text 6.103 states that *focussed intensification aims to*

maximise the existing growth capacity through an increase in density of development and a gradual change in character to similar but higher density forms of development. Sites will be redeveloped with denser forms of development of a different character to that which exists in the local area currently as it would not be justified, when there is unmet housing need, to move towards a more consistent character that replicates surrounding low density development types.

3.1.4 New development in areas of Focussed Intensification may be significantly larger than existing and should;

- a. Be up to double the predominant height of buildings in the area;
- b. Take the form of character types "Medium-rise block with associated grounds", "large buildings with spacing", or "Large buildings with Continuous frontage line";
- c. Assume a suburban character with spaces between buildings.

3.1.5 Policy DM10.11 further states that intensification will be supported in and around District Local and potential neighbourhood Centres which have sufficient capacity for growth due to the high availability of community services. Further growth can be accommodated through more efficient use of existing infrastructure.

3.1.6 The areas of focussed intensification have been designated due to their capacity to accommodate development. As such, these areas could relieve development pressure on more sensitive locations in the borough, such as conservation areas or protected open spaces. It is expected that the evolution of these places will result in a

managed change of their character over a period of 10-20 years to meet the housing need.

3.1.7 As stated in policy DM10.11 set out above, intensification is expected to enhance and sensitively respond to existing character. Elements which contribute positively to the character of each Focussed Intensification Area – including public spaces, community facilities and infrastructure, heritage assets and locally designated views – should be preserved and enhanced, and new development should be designed to respond positively towards them. Development should therefore consider Listed Buildings, Locally Listed Buildings, views and the relationship to the Metropolitan Green Belt land.

3.1.8 The guidance below sets out a more detailed vision for each of the Intensification Areas and outlines indicatively the development potential within each area based on different building typologies. These building typologies are derived from the Croydon Typology Appraisal¹. Applicants should refer to this for further information on the different typologies identified.

¹ Available at: https://www.croydon.gov.uk/sites/default/files/articles/downloads/BoroughCharacter_typology_20150921.pdf

3.2 EVOLUTION OF STREETS WITHIN THE INTENSIFICATION AREAS

Street with a mixed character

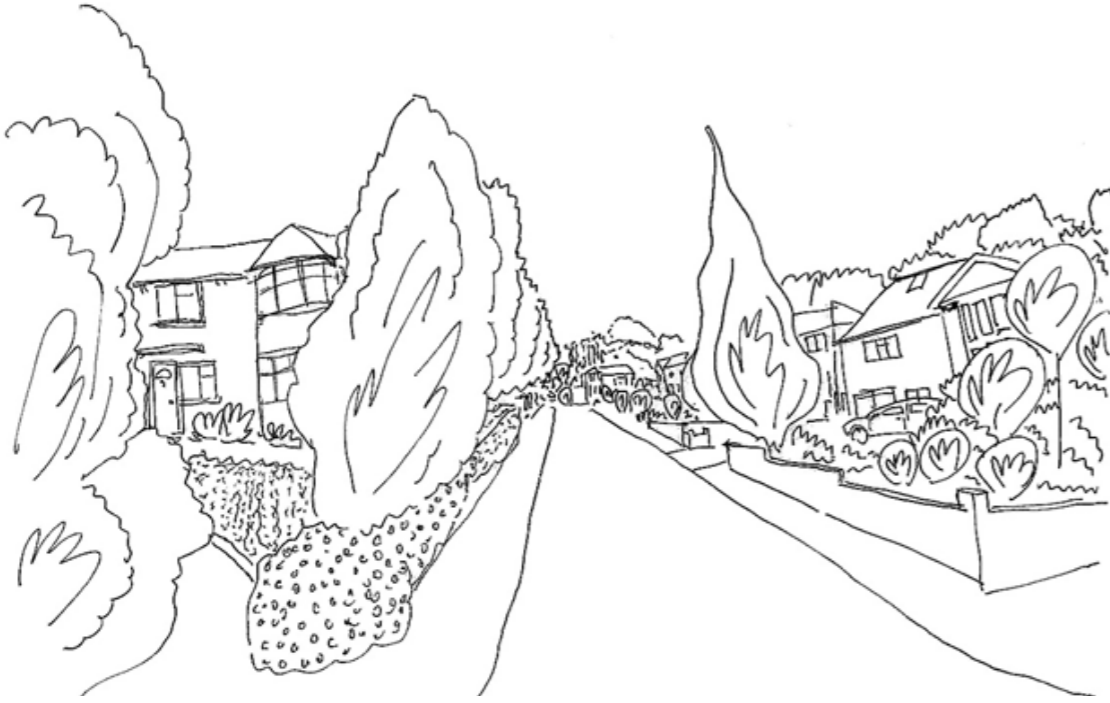


2018: Medium-rise blocks of flats with associated garages sit opposite Victorian terraces. A mixture of buildings of different ages, underutilised garages and hardstanding dominates the street scene.



2036: Garages are redeveloped to provide new homes, whilst the existing flats and terraces are retained. Landscaping improves the street scene and shared bike storage are provided.

Street with Detached & Semi-detached homes

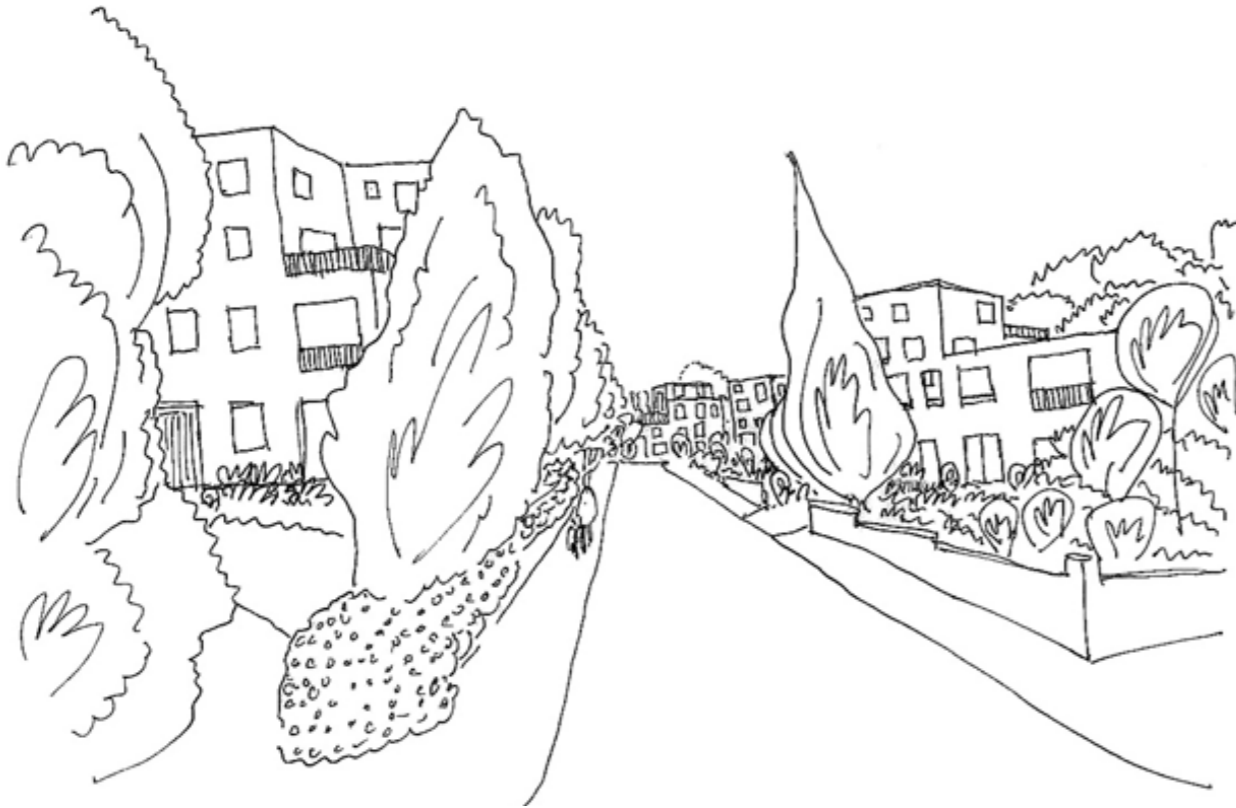


2018: A mixture of detached and semi-detached homes bring variation to this street, but there is no dominant typology, while large gardens and landscaping shape the streetscene.

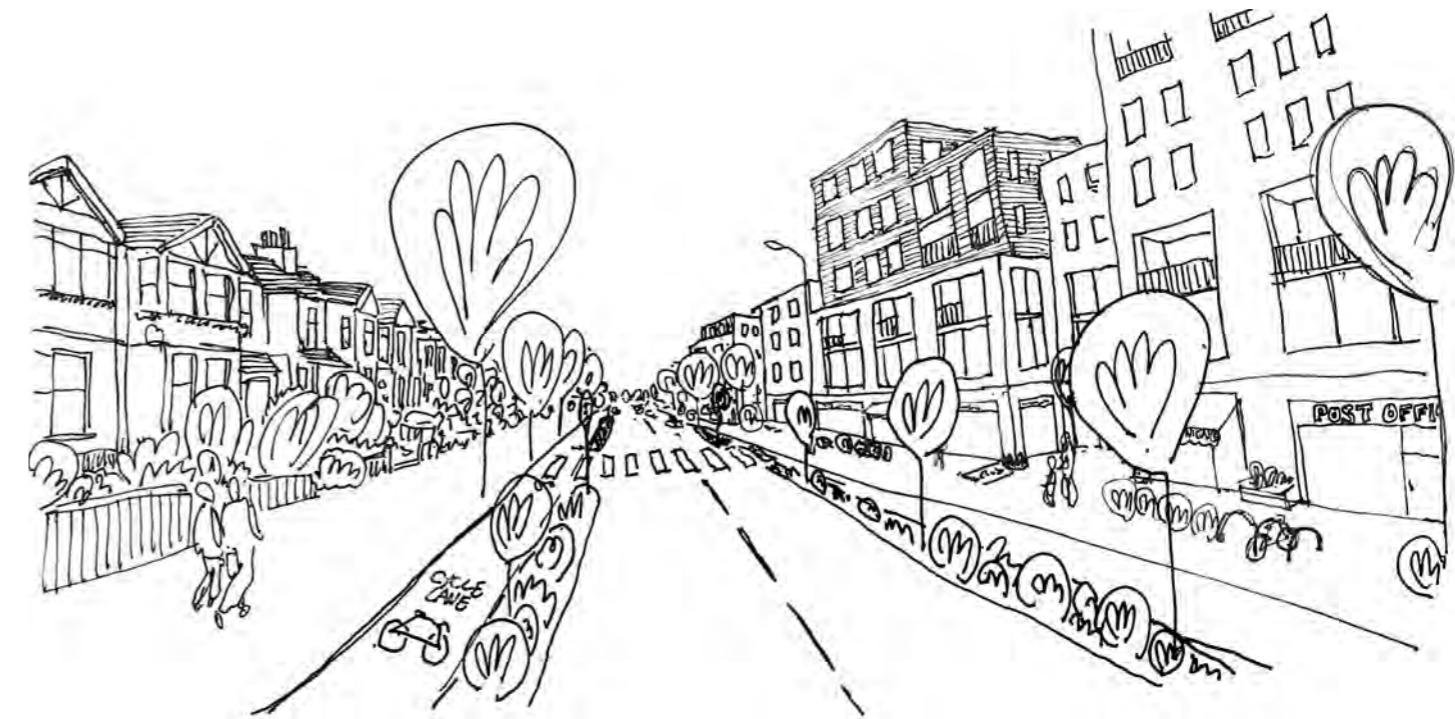
Street with arterial road



2018: Housing occupies one side of the road, with a mixture of uses on the other. There is no predominant scale and the street scene is dominated by the road.



2036: Redevelopment provides flats and townhouses set in generous gardens. The leafy character of the street is retained.



2036: New developments of additional height provide an active road frontage, giving it a human scale and reducing the dominance of the road. The thoroughfare is maintained but adjusted to provide public realm

KENLEY

3.3 INTENT OF THE KENLEY INTENSIFICATION AREA:

3.3.1 Redevelopment and development in the area (as designated in the Croydon Local Plan) should seek to provide additional housing and support an associated increase in population. This is proposed to be achieved through a variety of dwelling types and a revitalisation of local businesses and services along Godstone Road, providing long-term benefit to the community. Developments in Kenley should seek to maintain the leafy character of the area with increased focus around a regenerated village centre, with the grade II listed railway station at its heart.



Figure 3.2a

3.4 AREA APPRAISAL

3.4.1 The area around Kenley Station identified for focussed intensification is characterised by predominantly scattered houses on large plots and overall has a green and leafy feel with a variety of building forms separated from the street. The area south of Kenley Lane, including Hayes Lane and Welcomes Road, a private road, is comprised of predominantly detached homes on relatively large plots. These plots typically include off-street parking by way of a garage and driveway. The topography of Hayes Lane is quite steep, with a significant slope further south into the intensification area. These residential plots back onto, and subsequently overlook the residential plots on Welcomes Road. Kenley Lane is also comprised of detached homes on large plots and runs parallel to the railway station before heading south and branching into Welcomes Road.

3.4.2 The western part of the intensification area has a largely suburban feel and includes Park Road and Oaklands which contains predominantly medium rise blocks with associated grounds as well as on-street parking and localised green space.

3.4.3 The area north of the train line includes some medium rise blocks with associated grounds along with terraced houses and cottages and a small strip of retail uses on Godstone Road. This development is opposite Riddlesdown open space area.

3.4.4 The area is well accessed by public transport, including buses, and is walkable from Kenley train station. Development in Kenley should seek to reduce flood risk and protect and enhance the Kenley Panorama.



Figure 3.2b



Figure 3.2c



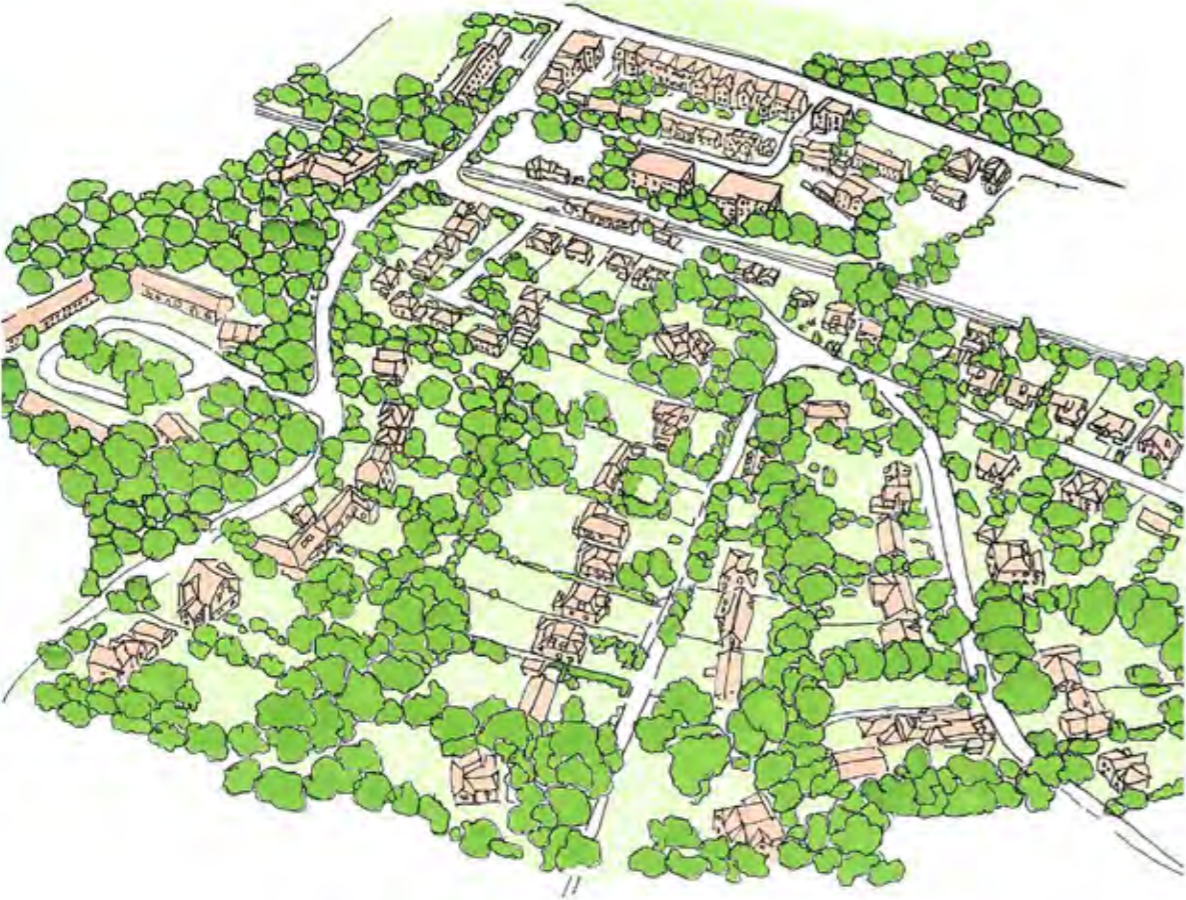
MAP OF KENLEY INTENSIFICATION AREA

Figure 3.2d

3.5 POTENTIAL DEVELOPMENT SCENARIO (KENLEY)

3.5.1 The scenario described in the following images is indicative and describes one potential way in which the area may be developed. Proposals within the area will be subject to consideration against the Croydon Local Plan, London Plan and this guidance document will be a material consideration.

2018



2027



2036



3.6 TYPOLOGY DEVELOPMENT POTENTIAL (KENLEY)

MEDIUM-RISE BLOCKS WITH ASSOCIATED GROUNDS:

- Existing blocks of flats may be redeveloped or extended to provide up to 6 storeys in height where possible.
- Garages associated with these flats present opportunities for development to the same height as the blocks of flats themselves, where this would not unreasonably impact existing residents. Where necessary, garages at ground level may be maintained with accommodation provided above.
- A parking survey will be required to show that the loss of garage parking would not result in a negative impact on parking stress in adjacent roads. If this survey suggests that there will be an impact then the developer will be required to enter into a legal agreement restricting future occupiers from applying for an on street parking permit (Refer to Policy DM30(a) of the Croydon Local Plan). If the site is outside of a controlled parking zone then the development will be expected to accommodate parking on site.
- Proposals for existing low & medium-rise blocks should seek to minimise the amount of hardstanding land onsite and introduce a greater amount of landscaping to prioritise pedestrians over vehicles.

AREAS OF TERRACED HOUSES, COTTAGES & COMPACT HOUSES:

- These housing typologies should be preserved to

maintain the character of the area. There may be scope for additional accommodation within rooves, with dormer windows to the front and box extensions to rear roofs.

- In some instances, these typologies may allow for mews style development to occur.

AREAS WITH SUBURBAN SHOPPING & LINEAR INFRASTRUCTURE:

- The retail and service function of Kenley Neighbourhood Centre should be maintained and enhanced. Development should be focussed on public realm and shopfront improvements and the provision of local amenities. The public realm may benefit from both soft and hard landscaping improvements and the potential for outdoor seating associated with cafes and restaurants.
- Accommodation above shops is encouraged and the conversion of roof spaces into acceptable habitable rooms is supported, where it does not have a negative impact on the operation and viability of retail units or other employment functions. There may be scope for additional accommodation within roofs, with dormer windows to the front and box extensions to rear roofs.
- Car parks may present some development opportunity to provide mixed-use schemes, provided the required quantum of parking is maintained (Refer to Policy DM30 and DM31 of the Croydon Local Plan 2018).
- Social infrastructure and community services should be accommodated as part of the sustainable growth of the area.

SCATTERED & DETACHED HOMES:

- Developments of 4 storeys will generally be acceptable.

- Smaller plots may provide opportunities to merge with neighbouring sites to form large, comprehensive and coherent development sites; this approach would be encouraged to aid the delivery of affordable housing. Where applicable, these must meet the affordable housing requirements in accordance with Policy 2.4 of the Croydon Local Plan 2018.
- Where plots are large enough², they may be subdivided to create separate dwellings. This will be more appropriate on flat sites. Proposals to subdivide on sloping sites will need to ensure appropriate access and minimise the use of retaining walls (Refer X.X for guidance).
- Where plots are subdivided to create rear garden development, these applicants should consider the development potential of the neighbouring rear gardens and the potential to create a larger site with one comprehensive development proposal. Where there is neighbouring development potential but sites do not come forward in one application, the proposed development should be designed to ensure future access can be accommodated from the access route to the first rear garden development³.
- The significant loss of landscaping will not be accepted and must be balanced with re-provision.
- Where individual plots are developed into multiple units the Council may seek to minimise the overall impact of parking demand on the adjacent roads by restricting permission to apply for on street permits in controlled parking zones. As per Policy DM30(a) in areas of PTAL 4 and above or in areas of parking stress.

2. Refer to Policy DM1 of the Croydon Local Plan 2018 for more information.

3. Conditions will be granted with a planning approval, detailing the expected outcome.

Figure 3.2e



FORESTDALE

3.7 INTENT OF THE FORESTDALE INTENSIFICATION AREA:

3.7.1 The area around Forestdale Neighbourhood Centre (as designated in the Croydon Local Plan) provides opportunity for intensification and revitalisation to create a better public realm surrounded by shops and services, to support new and existing homes. By anchoring development around the existing neighbourhood centre and the Forestdale Centre on Selsdon Park Road, there is an opportunity to create a suburban village heart to service greater development. Development should seek to maximize underutilised land to deliver an increased housing density with a suburban feel.

3.8 AREA APPRAISAL

3.8.1 The area around Forestdale Neighbourhood Centre identified for intensification is a mix of character typologies supported by small-scale suburban shopping areas. Gravel Hill and the eastern side of Selsdon Park Road are typified by semi-detached houses. Whilst the topography along Gravel Hill nearest to the roundabout is gentle, the semi-detached homes along Selsdon Park Road are on plots which slope away from the road, providing opportunities to use the topography to maximise development.

3.8.2 The existing shopping parade on Selsdon Park Road is set back from the dual carriageway, with a slip-lane for access. The ground level retail includes residential accommodation above, with large backlands accessed via a rear lane. The Forestdale Centre, located to the south of the road junction between Selsdon Park Road and Featherbed Lane, provides further retail offer. These two shopping areas are disconnected and dominated by the dual carriageway and car parking. Through revising the public realm and delivering mixed-use schemes, there is an opportunity to create a heart in the area that prioritises pedestrians and encourages the wider community to utilise its services.

3.8.3 There are two (2) fuel stations within the intensification area, servicing different directions of traffic. The service station at the Selsdon Park Road roundabout occupies a prominent corner and road frontage, separating the semi-detached homes on Gravel Hill from the identifiably terraced houses and cottages directly south along the main road. This corner could better define the street and contribute to a developing character for the area. The Esso service station on the southern side of Selsdon Park Road creates a separation between the neighbourhood centre retail, including The Forestdale Arms, and the medium rise blocks to the west along the main road. These blocks of flats occupy large associated grounds which are typically underutilised, providing possible potential for increased development in terms of density and intensity that could deliver greater definition to the main road

3.8.4 The plots on the eastern side of Featherbed Lane within the intensification area include a variety of houses and services with an inconsistent typology. Accessed by a separate carriageway, these plots provide an opportunity to connect the northern and western portions of the intensification area with the eastern side to utilise the adjoining Metropolitan Green Belt.



Figure 3.3a



Figure 3.3b



Figure 3.3c



MAP OF FORESTDALE INTENSIFICATION AREA

Figure 3.3d

3.9 POTENTIAL DEVELOPMENT SCENARIO (FORESTDALE)

3.9.1 The scenario described in the following images is indicative and describes one potential way in which the area may be developed. Proposals within the area will be subject to consideration against the Croydon Local Plan, London Plan and this guidance document will be a material consideration.

2018



2027



2036



3.10 TYPOLOGY DEVELOPMENT POTENTIAL (FORESTDALE)

SEMI-DETACHED HOUSES:

- Pairs of semi-detached houses may be developed together to provide large developments of flats, maisonettes or terraces. These should seek to provide up to 4 storeys of accommodation, one of which is accommodated in the roof.
- Where possible, proposals may seek to amalgamate 4 or 6 houses (i.e. 2 or 3 pairs of semi-detached houses) in a row to create larger developments which respond to topography. Applicants should refer to the guidance for building across boundaries where this is proposed (Refer X.X for guidance).
- Where there is an inconsistent ridge line and change in topography, additional height may be accommodated and, where possible, provide basements and undercroft parking to utilise the slope of the land. Large retaining walls should be avoided. Ramps leading from undercroft parking onto the public highway must be well set back from the back of the footway and the ramp levelled off before a vehicle gets close to the public highway to ensure clear visibility and the safety of pedestrians on the footway at all times.
- Large gardens provide opportunities for rear garden development. These can be accessed by driveways created along the side of the existing houses, particularly where neighbouring properties have similar potential. In these circumstances, the

proposed development should be designed to ensure future access can be accommodated from the access route to the first rear garden development

TERRACED HOUSES AND COTTAGES:

- Where a set of terraced houses can be redeveloped comprehensively, there is potential for increased development of up to 4 storeys of accommodation, one of which is accommodated in the roof.
- Terraced houses also provide opportunities to create back land developments up to 2 storeys where garages to the rear exist.
- Where individual plots are developed into multiple units, the Council will seek to minimise the overall impact of parking demand on the adjacent roads by restricting permission to apply for on street permits in controlled parking zones.

SHOPPING PARADE:

- The shopping parade should be maintained in terms of use and appearance, without inhibiting the potential for public realm improvements including better connections across to the neighbourhood centre and green belt.
- Development should maintain the retail shopping parade and encourage additional residential storeys through the provision of dormer windows to the front roof and box extensions to the rear roofs.
- Underutilised land to the rear of shopping parades may be considered for back land developments of up to 2 storeys, where it does not

compromise the functionality of the shopping parade or centre.

NEIGHBOURHOOD CENTRE:

- The existing Neighbourhood Centre provides an opportunity to create a central village that includes residential provision, in the form of ground floor retail with 4-5 storeys of residential above.
- Development should help to define the public realm and strengthen the positive characteristic of the neighbourhood centre, providing a stronger frontage to Selsdon Park Road and Featherbed Lane, and establishing pedestrian connections to the shopping facilities and houses across these roads.
- Where car parking is provided, it should not dominate the environment and should be discreetly located, including in basement car parking where possible.
- Development should provide increased safety for users through improved lighting, natural surveillance and secured design.

MEDIUM RISE BLOCKS WITH ASSOCIATED GROUNDS:

- Largely underutilised land provides opportunities for intensified development with the potential to create a stronger frontage along Selsdon Park Road and a better connection into the neighbourhood centre.
- Garage sites may be considered for development but should seek to minimise the substantial loss of garden areas.
- A parking survey will be

required to show that the loss of garage parking would not result in a negative impact on parking stress in adjacent roads. If this survey suggests that there will be an impact then the developer will be required to enter into a legal agreement restricting future occupiers from applying for an on street parking permit. If the site is outside of a controlled

parking zone then the development will be expected to accommodate parking on site.

- Development must be considerate of adjoining uses and ensure issues of overlooking and safety are mitigated.

Figure 3.3e



BRIGHTON ROAD

3.11 INTENT OF THE BRIGHTON ROAD (SANDERSTEAD ROAD) INTENSIFICATION AREA:

3.11.1 Developments in the Brighton Road (Sanderstead Road) Local Centre (as designated in the Croydon Local Plan) should seek to create a sense of place, identifying the area as a destination. Redevelopment in the intensification area should deliver increased housing density, supported by an active and vibrant local centre of mixed uses and recreation areas in conjunction with the existing playing fields. Development should encourage public transport connections, utilising the opportunity to deliver developments of greater height with active frontages along the main roads. at its heart.

3.12 AREA APPRAISAL

3.12.1 The Brighton Road focussed intensification area is a mix of residential, local retail, light industrial and car parking. The houses along Brighton Road are predominantly close-knit, Victorian, semi-detached homes, interwoven with other the typologies and scales of development. Away from Brighton Road, the area is characterised by low density residential development on suburban streets, intermixed with small cafes, shops and community uses.

3.12.2 The upper half of Brighton Road within the Intensification Area is characterised by clusters of denser, high street parades which stretch along a large length of Brighton Road. This is at the heart of the Local Centre, where Brighton Road meets Sanderstead Road, and presents significant opportunity to improve the public realm and provide development to create a vibrant local centre that is attractive to the broader community, with the locally listed Red Deer Public House at its centre.

3.12.3 The lower half of Brighton Road contained within the Intensification Area is predominantly low-rise, light industry intermixed with residential housing. While outside of the focussed area boundary, the large sports field nearby provides an opportunity for intensified development to overlook open space, creating a park and village green at the heart of the intensification area.

3.12.4 The area along Sanderstead Road either side of the railway tracks is leafier than the rest of the intensification area. The width of the road and presence of cafes and shops gives the area a village feel. Development should seek to exploit the opportunity presented by under-utilised areas of grounds associated with medium-rise blocks, car-parking and back lands to provide new housing.

3.12.5 The area is well-connected and easily accessible by public transport providing the opportunity to create new developments of greater density. However, the area has distinct a lack of clarity in character with large pockets without a sense of place, and is severed by the existing transport

infrastructure. Public realm improvements should seek to establish a unified character to help tie new and existing development together and create connections across the existing road and rail infrastructure. This should help establish an area that is identifiable through character and services, while providing intensified development along the main routes and elsewhere within the area.



Figure 3.4a



Figure 3.4b



Figure 3.4c



MAP OF BRIGHTON ROAD INTENSIFICATION AREA

Figure 3.4d

3.13 POTENTIAL DEVELOPMENT SCENARIO (BRIGHTON ROAD)

3.13.1 The scenario described in the following images is indicative and describes one potential way in which the area may be developed. Proposals within the area will be subject to consideration against the Croydon Local Plan, London Plan and this guidance document will be a material consideration.

2018



2027



2036



3.14 TYPOLOGY DEVELOPMENT POTENTIAL (BRIGHTON ROAD)

TERRACED HOUSES AND COTTAGES & SEMI-DETACHED HOUSES ALONG BRIGHTON ROAD:

- Where appropriate and safe access via lanes is available, intensification may seek to provide new development within rear gardens (including garages). These should be single storey height with additional accommodation in the roof.
- Where there are back land sites with light industrial units and warehouses situated to the rear of existing homes, these may provide opportunities for redevelopment into housing. Mews style houses of up to two (2) storeys are appropriate in these locations and dependent on the setting, there may be potential for additional accommodation within roofs.
- Where there is a consistent ridge line across terraces and pairs of semi-detached, the gradual change in height will occur as properties are redeveloped to a greater height.
- Where individual plots are developed into multiple units the Council will seek to minimise the overall impact of parking demand on the adjacent roads by restricting permission to apply for on street permits in controlled parking zones.

SUBURBAN SHOPPING AREAS:

- Suburban shopping areas should maximise opportunities to create vibrant, neighbourhood centres with active frontages.
- The retail provision must be retained or re-provided. Where shops are not part of a unified parade or they are in a parade that is single storey, there may be opportunities for redevelopment of up to 4 storeys tall. These should be of a scale that brings definition to the public realm and responds to the context of any of the older or established shopping parades.
- Where existing parades of 2 or more storeys exist, these should be retained or reprovided. Where possible, spaces above shops may be converted into residential units, where it does not compromise the functionality of the shopping parade or centre. It may be more beneficial for parades to be redeveloped to a greater height to provide additional accommodation above. This should range between 4-6 storeys depending on the setting.

UNDERUTILISED LARGER BUILDINGS⁵:

- Large, underutilised sites provide potential for the creation of mixed-use developments. These may include active frontages along Brighton Road, with associated public realm improvements.
- Development should seek to significantly intensify the area through the development of flats and increased heights. The height of new development should vary to respond to the context and

streetscene. Heights should therefore vary from 3 to 6 storeys. Development facing onto Brighton Road or South Croydon Recreation Ground may seek to be up to 6 storeys tall.

- Prioritised pedestrian spaces should be provided within the development plots that are open to the public and allow for connections to the park.
- The provision of family accommodation close to parks and open space is encouraged.

MEDIUM RISE BLOCKS WITH ASSOCIATED GROUNDS:

- Larger sites provide infill development opportunities, including redevelopments of garage blocks. Infill development should be of a subservient scale to allow the open character of these sites to be maintained.
- Garage blocks may be redeveloped to the same height of the host blocks, provided there would be no unreasonable impact on access to light on neighbouring properties.
- A parking survey will be required to show that the loss of garage parking would not result in a negative impact on parking stress in adjacent roads. If this survey suggests that there will be an impact then the developer will be required to enter into a legal agreement restricting future occupiers from applying for an on street parking permit. If the site is outside of a controlled parking zone then the development will be expected to accommodate parking on site.

4. Conversions from retail to residential must meet the requirements of the relevant policies of the Croydon Local Plan 2018.

5. Where not an allocated site in the Croydon Local Plan 2018 and where development is in line with Policy SP3.2 regarding the retention and redevelopment of land and premises relating to industrial/employment activity.

Figure 3.4e



3.15 SHIRLEY

3.16 INTENT OF THE SHIRLEY INTENSIFICATION AREA:

3.16.1 Developments in Shirley (as designated in the Croydon Local Plan) should seek to enhance the local centre and further establish the neighbourhood characteristics of the area. Redevelopments should seek to provide an increased density in housing through varying development types and an uplift along Wickham Road to enrich the existing amenities, providing lasting growth to the area as a local and neighbourhood centre. The neighbourhood feel along Wickham Road should be encouraged further west, with improvements to the East-West route leading towards Central Croydon and associated infrastructure along Shirley Road allowing land to be unlocked for development and to improve the public realm.

3.17 AREA APPRAISAL

3.17.1 The area defined for focussed intensification in Shirley is predominantly residential-focus intertwined with local and neighbourhood centre services.

3.17.2 The area along Addiscombe Road is identified by semi detached homes to the north, with detached homes on larger plots on the southern side of the road, as well as the Shirley Park Golf Clubhouse. The roundabout at Shirley and Addiscombe Roads is surrounded by suburban shopping areas with accommodation above at a key intersection. Denser development exists at the northern

end of the section of Shirley Road within the intensification area with some terraced houses, cottages and compact houses on relatively small plots. At the southern end, Shirley Road rises up and dominates the environment, with semi-detached homes on one side separated from the Trinity School of John Whitgift by dual-carriageway and associated slipways.

3.17.3 The Wickham Road portion of the intensification area includes locally listed Shirley Methodist Church, a mix of semi-detached houses and medium rise blocks, Shirley Parish and Croydon and District Synagogue with an unused open space adjoining the site and extending to the opposite side of the road. Importantly, the existing retail strip on Wickham Road is not included in the area of focussed intensification identified for development. Whilst this portion of retail land separates the defined area, the eastern side of Wickham Road is included which is typified by semi-detached bungalows, leading to small scale retail and industry as the topography increases.

3.17.4 The intensification area as a whole is severed by dual carriageway road, creating a distinct split between the Trinity School (western) side of the designated area and the Local Centre. Mending this separation is crucial to providing a link between the Shirley Road Neighbourhood Centre and Shirley Local Centre.

3.17.5 The intensification area has the potential to provide a connection from the east of the borough, creating a gateway to the Croydon Metropolitan Centre. This provides opportunities to look at ways to encourage a lower reliance on cars from

East to West entering Croydon, making the roadway safer for cyclists and pedestrians. The inclusion of a designated cycle lane each way would allow denser development to occur with lesser car dependency. Improvements to the dual carriageway area provides an opportunity to make a place that is distinctively recognisable and identifiable as a focus within Shirley.



Figure 3.5a

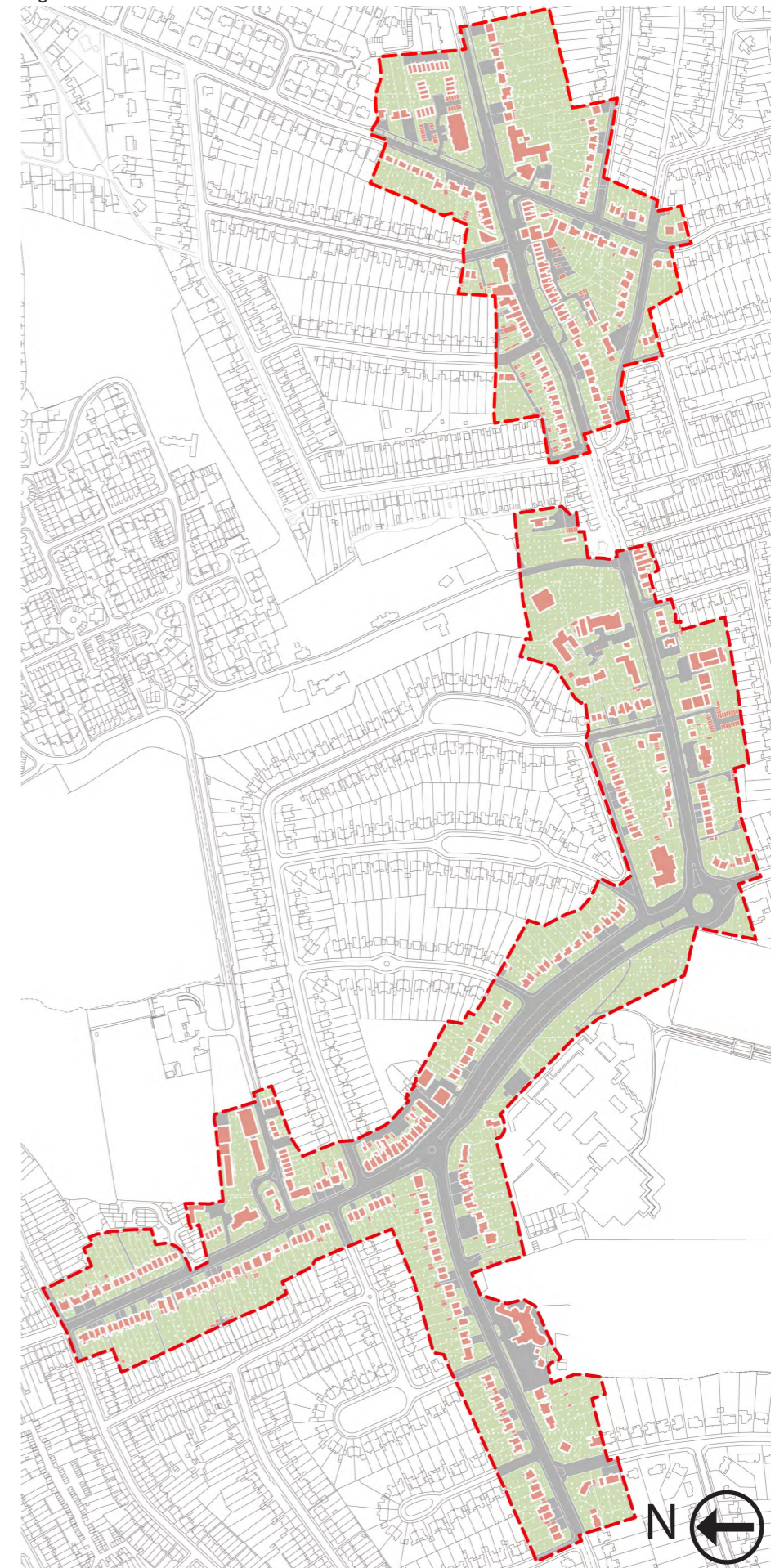


Figure 3.5b



Figure 3.5c

Figure 3.5d



MAP OF SHIRLEY INTENSIFICATION AREA

3.18 POTENTIAL DEVELOPMENT SCENARIO (SHIRLEY)

3.18.1 The scenario described in the following images is indicative and describes one potential way in which the area may be developed. Proposals within the area will be subject to consideration against the Croydon Local Plan, London Plan and this guidance document will be a material consideration.



3.19 TYPOLOGY DEVELOPMENT POTENTIAL (SHIRLEY)

AREAS OF SEMI-DETACHED HOMES:

- Pairs of semi-detached houses may be developed together to provide large developments of flats, maisonettes or terraces. These should provide up to 4 storeys of accommodation, one of which is accommodated in the roof.
- Where possible, proposals may seek to amalgamate 4 or 6 houses (i.e. 2 or 3 pairs of semi-detached houses) in a row to create larger developments which respond to topography. Applicants should refer to the guidance for building across boundaries where this is proposed (Refer X.X for guidance).
- Semi-detached houses with large gardens may provide opportunities for rear garden development, particularly where neighbouring properties have similar potential. In these circumstances, the proposed development should be designed to ensure future access can be accommodated from the access route to the first rear garden developmen

AREAS OF DETACHED HOMES ON RELATIVELY LARGE PLOTS:

- Redevelopment of 2 storey detached properties into small blocks of apartments

may be acceptable. These developments should typically be 4 storeys in height. There may be some scope for additional accommodation in the roof space.

- Rear gardens may be subdivided to create new houses of no more than 2 storeys tall.

AREAS OF LARGE HOMES ON RELATIVELY SMALL PLOTS:

- Development may seek to amalgamate small plots to establish larger development sites. Larger sites may accommodate blocks of flats or townhouses of up to 4 storeys in height where facing the street.
- Only those with the largest gardens may present the opportunity to be subdivided to provide new homes.

TERRACED HOUSES AND COTTAGES & COMPACT HOUSES ON RELATIVELY SMALL PLOTS:

- Standalone houses may present some opportunity for redevelopment into dwellings of up to 3 – 4 storeys tall, depending on the context and impact on the street scene.
- Where suitable access to the rear of a property exists, there may be some opportunity to provide new development within rear gardens (including garages). These should be single storey height with additional accommodation in the roof.

SUBURBAN SHOPPING AREAS:

- Suburban shopping areas should maximise opportunities to create vibrant, neighbourhood centres with

active frontages.

- The retail provision must be retained or re-provided.
- Where shops are not part of a unified parade or they are in a parade that is single storey, there may be opportunities for redevelopment up to a height of 3 storeys. These should be of a scale that brings definition to the public realm and responds to the context of any of the older or established shopping parades.
- Where existing parades of 2 or more storeys exist, these should be retained or reprovided. Where possible, spaces above shops may be converted into residential units, where it does not compromise the functionality of the shopping parade or centre. It may be more beneficial for parades to be redeveloped to a greater height to provide additional accommodation above. This should range between 4-6 storeys depending on the setting.
- Back land to the rear of existing shops may present the opportunity for redevelopment into housing. These may be mews style houses of up to 3 storeys, dependent on the setting and resulting impacts on neighbouring amenity and the streetscene.

INSTITUTIONS WITH ASSOCIATED GROUNDS⁷:

- Larger sites provide opportunities to revise infrastructure provisions to create new mixed-use development potential and increase density.
- Where existing spaces allow, there may be opportunity for infill development.

6. Conversions from retail to residential must meet the requirements of the relevant policies of the Croydon Local Plan 2018.

7. Where in accordance with Policy SP5 Community Facilities of the Croydon Local Plan 2018.

Figure 3.5e



An aerial, isometric illustration of a residential neighborhood. The buildings are rendered in a stylized, blocky manner with a color palette of terracotta, grey, and green. The scene shows a mix of building heights and styles, with some featuring gabled roofs and others with flat roofs. A semi-transparent white box with a thin black border is centered over the upper portion of the image, containing the chapter title in red, uppercase letters. The overall perspective is from a high angle, looking down at the street grid and building footprints.

**CHAPTER 4:
RESIDENTIAL
EXTENSIONS AND
ALTERATIONS**



INTRODUCTION

4.1 EXTENSIONS & ALTERATIONS

4.1.1 Extensions and alterations enable existing housing stock to be improved and evolve for the occupiers. Innovative and creative design solutions for extensions and alterations are encouraged and proposals must demonstrate the design merits of the development. In some circumstances, extensions and alterations may not require planning permission. Where a proposal is deemed to be Permitted Development, applicants should refer to 4.3.1 for further guidance.

4.1.2 Extensions and alterations can significantly change the appearance of a property, and where poorly designed this can have a detrimental impact on the character and amenity of an area. They can also have significant impacts on neighbouring properties. Any extension should be designed and developed appropriately to ensure that it does not cause a harmful loss of light, visual intrusion or privacy. The scale and appearance of an extension or alteration should also consider the impact on the neighbourhood, and whether it would result in the loss of soft vegetation that contributes significantly to the appearance of the area. Other impacts on the neighbourhood, such as increased parking should also be considered.



Figure 4.1a & 4.1b

DESIGN PRINCIPLES FOR EXTENSIONS & ALTERATIONS

4.2 RESPOND TO CHARACTER

4.2.1 Developments should consider the character of the area and dwelling to which an extension or alteration is proposed. Extensions and alterations should normally seek to respond to the character of a dwelling and the streetscene. Respond does not mean replicate and the Council will encourage innovative designs that work with the existing character of a building and place. Any proposals which are considered to have a detrimental impact on character will generally be unacceptable.

4.2.2 For further information on how to assess the character of a building or place, applicants should refer to the documents below:

- Detailed information on the characteristics of each area of Croydon is available in the Borough Character Appraisal¹.
- Detailed information on the characteristic of the predominant housing types within Croydon is available in The Borough Character Typology study².

4.2.3 Where considering proposals that may impact on heritage assets, such as in Conservation Areas or to Listed Buildings, please refer to guidance in section 1.4.

¹ Available at: <https://www.croydon.gov.uk/sites/default/files/articles/downloads/Borough%20Character%20Appraisal.pdf>

² Available at: https://www.croydon.gov.uk/sites/default/files/articles/downloads/BoroughCharacter%20typology_20150921.pdf

4.3 SUSTAINABILITY

4.3.1 The environmental impacts and long term sustainability of extensions and alterations is a key consideration in the design of an extension and/or alteration. Proposals for extensions and alterations should seek to integrate materials, insulation, heating, lighting and ventilation systems which minimise energy consumption and improve the environmental performance of the building. This should be considered from the outset of developing a proposal.

4.4 SUBSERVIENT, INNOVATIVE OR SEAMLESS

4.4.1 Extensions and alterations can respond to character in various ways and do not necessarily need to replicate or be subservient to the existing dwelling. An extension should clearly define its relationship to the existing dwelling following one of the approaches set out in the opposite page.

SUBSERVIENT

4.4.2 A subservient approach typically means an extension or alteration that appears to be of a scale that is subordinate to the house. Subservient extensions should generally be setback from the existing external walls and of a height lower than the existing house. The materials should complement the existing house, but do not necessarily need to replicate the existing house and may introduce different and contemporary materials which allow the existing house to maintain its prominence.

Benefit Limited visual impact on neighbours and/or the street scene. It reads as an extension to the main building.

Challenge: Particular attention needs to be given to the proportions and scale of any proposal to ensure it appears subservient. Internal layout and the amount of potential floorspace may be compromised.

INNOVATIVE:

4.4.3 An innovative approach should provide the highest quality design that distinguishes the extension or alteration from the existing dwelling. This might be through the use of contemporary materials, unique construction methods or a departure from traditional domestic aesthetics. Innovative proposals must ensure they are complimentary to the existing dwelling and townscape and are encouraged where the appearance of the existing dwelling provides enhancement opportunities.

Benefit: Can provide unique solutions and improve the quality of the townscape.

Challenge: Requires a high level of design consideration which must be demonstrated in a planning application.

SEAMLESS

4.4.4 A seamless approach should make an extension or alteration appear as if it is part of the existing house. It should match the materials of the existing house and continue the scale, proportions, form and details. Proposals adopting this approach should ensure detailing is carefully considered to ensure a seamless final development that allows the addition to read as part of the original dwelling.

Benefit: Can allow for extensions and alterations to appear as if they have always existed.

Challenge: Particular attention should be given to the materials, windows, doors, rainwater goods and details to ensure the new addition integrates seamlessly with the existing. Proposals may be required to specify the exact products to be used and provide samples to ensure an adequate match.



Figure 4.2a

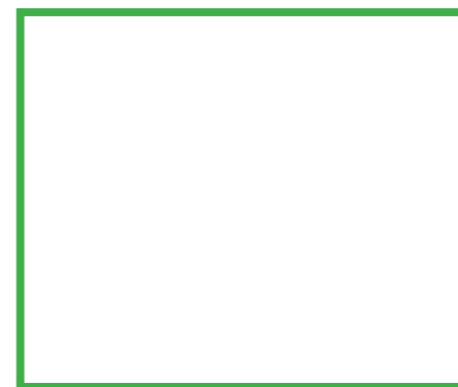


Figure 4.2b - 4.2c



Figure 4.2d - 4.2e



Figure 4.2f - 4.2g

PLANNING CONSIDERATIONS FOR RESIDENTIAL EXTENSIONS AND ALTERATIONS

4.5 PERMITTED DEVELOPMENT

4.5.1 Many proposals for extensions and alterations to a home may be possible under Permitted Development (PD) rights. PD provides rules that allow people to alter existing buildings, and in some circumstances create new buildings, without needing to apply for planning permission. However, the scope of an extension and alteration under PD is limited³.

4.5.2 This guide provides a level of design quality for proposals and therefore those seeking to develop under PD may also find the guidance useful to ensure all proposals for extensions and alterations contribute positively to the existing dwelling and the character of an area, with limited impact on neighbouring amenity.

4.5.3 Where a PD alteration is pursued, homeowners can obtain a Lawful Development Certificate (LDC) from the Council to demonstrate their project is legal under PD rights. PD rights do not generally apply to flats and are more limited for listed buildings and conservation areas. In some areas, an Article 4 Direction has also been put in place to manage change in an area by further restricting PD rights. Technical guidance should be sought for PD schemes⁴.

4.6 MINOR ALTERATIONS

4.6.1 Applicants are advised to contact Croydon's Planning Department⁵ for minor alterations to determine whether planning permission or Listed Building consent is required, or if other relevant legislation or development restrictions are applicable.

4.6.2 All proposals, including

those that do not require planning permission and minor alterations should utilise the Detailed Design for Extensions and Alterations guidance (Refer X.X for guidance). Further advice should be sought from Council's Pre-application Service⁶.

4.7 SHARED PROJECTS

4.7.1 In some circumstances, a joint planning application between neighbours can be beneficial. Where both parties seek to create an extension at the same time, this may provide an opportunity to achieve larger proposals than would normally be acceptable due to the impacts on neighbouring properties. A joint application will be subject to a legal agreement that requires both extensions to be constructed and completed at the same time. Applicants should consider this prior to a submission.

4.8 HOME BUSINESSES

4.8.1 Home businesses and the ability to work remotely is increasingly common meaning many people use their home as the base for their business. Provided the primary use of the building remains as a dwelling and the use as a business does not cause disruption to neighbours, planning permission for the change of use may not be required. Where this is the case, planning permission may still be required for the creation of additional space for a home business but this will generally be considered the same as a residential use and should follow the guidance contained within this document. Where a plan to use a home business would result in several employees (generally considered to be more than 3) using the premises and/or it could disturb

neighbours, planning permission for change of use may be required. For further advice please contact the Local Planning Authority as part of the Council's formal pre-application service.

4.9 SUBDIVISION

4.9.1 Where proposals seek to subdivide a dwelling to create multiple dwellings, such as the conversion of a house into flats or the subdivision of a rear garden to create a separate dwelling, applicants should refer to X.X in the Suburban Residential Development section of this guide and Policy DM10.1 of the Local Plan.

3. More information is available at: <https://www.planningportal.co.uk/>

4. Technical guidance is available at: https://assets.publishing.service.gov.uk/government/uploads/system/uploads/attachment_data/file/606669/170405_Householder_Technical_Guidance_-_April_2017_FINAL.pdf.

5. Applicants should utilise Council's duty planning office service. More information is available via: <https://www.croydon.gov.uk/planningandregeneration/duty-planning-officer-service>

6. For more information, refer to: <https://www.croydon.gov.uk/planningandregeneration/pre-application-meeting-service>

SINGLE STOREY EXTENSIONS

4.10 SINGLE STOREY REAR EXTENSIONS

4.10.1 Single storey rear extensions are not normally visible from the streetscene, so are usually less visually intrusive than side or two-storey rear extensions. However, these extensions can still have an impact on neighbouring amenity including access to sunlight and daylight and outlook. To resolve these potential issues, single storey rear extensions should be designed to ensure:

- That in a terraced or semi-detached property it is no deeper than 3.5m⁷ from the rear elevation of the original dwelling.
- That in a detached dwelling, it is no deeper than 45° (in plan) as measured from the centre of the nearest ground floor window on the neighbouring property or 3.5m from the rear elevation of the original dwelling, whichever is greater. In semi-detached dwellings, where there is sufficient separation from neighbouring boundaries the 45° rule can be applied to achieve a deeper footprint than 3.5m (Refer Figure 4.10b).

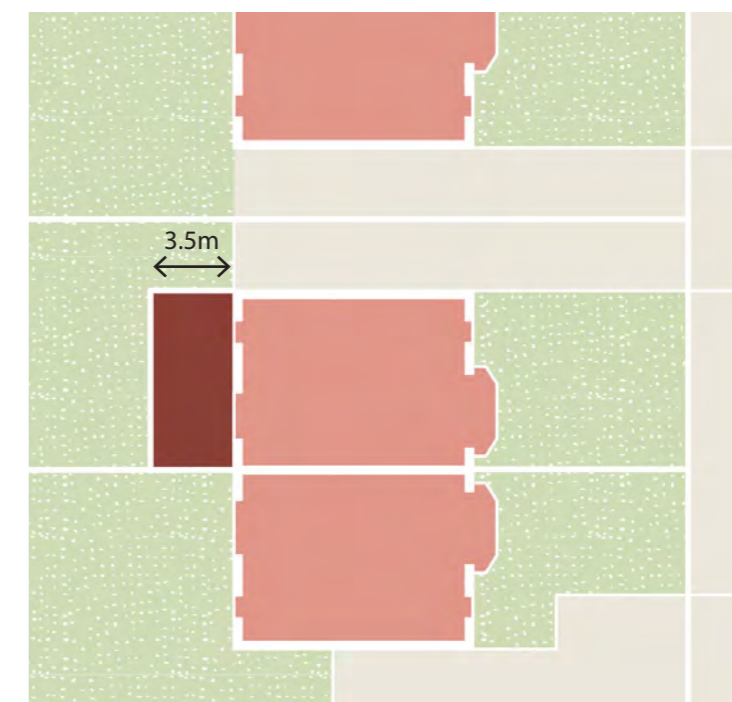


Figure 4.10a: An extension to a terraced house that is no more than 3.5m deep

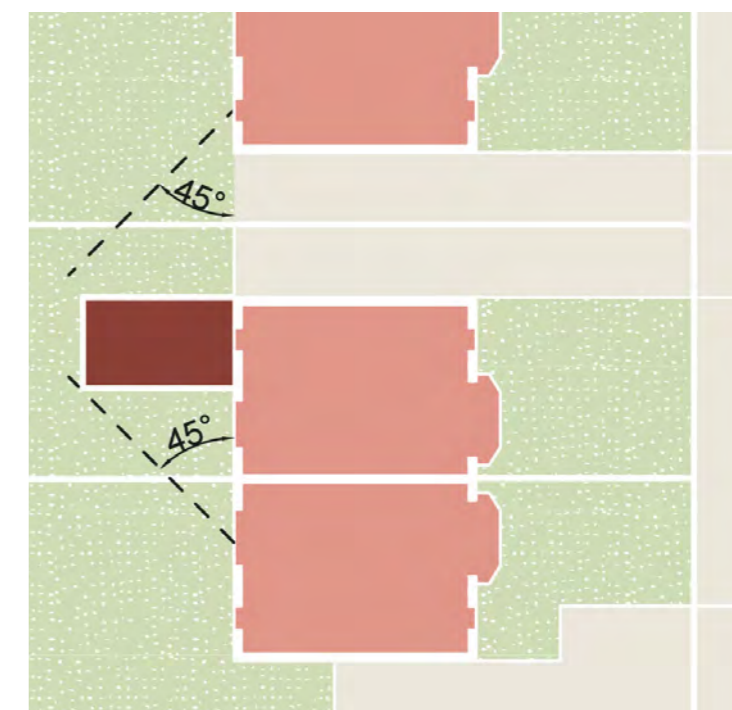


Figure 4.10b: An extension to a semi-detached house that is set away from neighbouring boundary, allowing for a deeper extension

7. Permitted development limited to 3m in all dwellings except detached properties.

- Where there are existing outriggers or extensions, it may be possible to create a dog-legged extension as per Figure 4.10c where the resulting projection of each part of the extension is no more than 3.5m from the respective rear walls.
- Where an existing outrigger or extension is deeper than 3.5m, in some circumstances it may be possible for a new extensions to extend up to the depth of the existing outrigger or extension provided there is a compelling design that limits impact on neighbouring amenity.
- The height of a single storey rear extension at its highest point should generally not exceed 4m. The height of a side wall of a single storey that directly abuts a neighbouring boundary will generally need to be less than 4m to minimise impact on neighbouring amenity. Particular consideration needs to be given to the orientation and topography of the site, where this may exacerbate impacts on neighbouring amenity.
- The form and materials of the extension should be informed by the design approach in terms of whether it seeks to be subservient, innovative or seamless (Refer to 4.4 for guidance). The detailed design, including specification of materials, windows and doors, should be informed by the guidance on Detailed Design (Refer X.X for guidance).

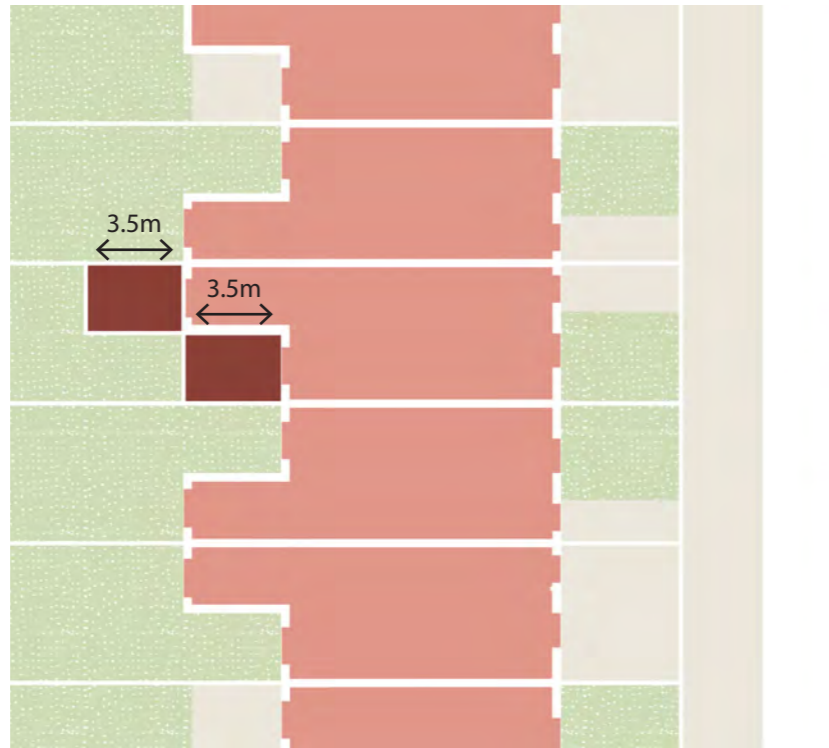


Figure 4.10c: A dog-legged extension where there is an existing outrigger.



Figure 4.4d: Maximum height and relationship with neighbouring boundary.

4.11 SINGLE STOREY SIDE EXTENSIONS

4.11.1 Side extensions should consider the impact on the street scene. Care is also needed when considering the relationship between any proposed extension and the boundary with neighbouring properties; the separation between properties can provide access routes to the rear of the property and in some locations are part of the character of the area. Depending on the orientation of the neighbouring property, side extensions also have the potential to impact their amenity. To ensure these potential issues are resolved, single storey side extensions should be designed in accordance with the guidance below.

- To prevent overlooking of neighbouring properties, windows and doors should normally be placed in the front and rear walls of the extension. If windows are proposed on side walls where they would create issues of overlooking, they should be at high level, non-opening and fitted with obscured glass. Any windows on side elevations should not prejudice the development potential of adjoining land.
- Extensions that are irregular to an existing pattern of development will only be acceptable where it can be demonstrated they would enhance the streetscene and character of the area. In such circumstance the design approach should not upset the balance and proportions of the existing dwelling; a seamless approach must have a well-considered scale and fenestration that allows it to read as part of the original composition; an



Figure 4.11a: A single storey side extension no deeper than existing house

innovative approach must have a compelling design that does not detract from the existing balance; a subservient approach should have a set-back.

- Where an extension seeks to build beyond the existing front or rear building lines, they should also refer to the guidance on front and/or rear extensions (Refer X.X and/or X.X). If they do extend beyond the front building line, applicants are encouraged to combine this with a new or existing porch where applicable.
- The height of a wall of an extension that directly abuts a neighbouring boundary should be designed to minimise impact on neighbouring amenity.
- The materials and form of the extension should be informed by the design approach in terms of whether it seeks to be subservient, innovative or seamless (Refer 4.4 for guidance). The detailed design, including specification of materials, windows and doors, should be informed by the guidance on Detailed Design (Refer X.X for guidance).



Figure 4.11b: A poorly designed single storey side extension that fails to respond to the original dwelling. It has an awkward combination of roof forms and the appearance is further exacerbated by the porch extension, which hasn't been combined with the side extension.

4.12 SINGLE STOREY WRAP-AROUND EXTENSIONS

4.12.1 Wrap-around extensions which seek to extend to the side as well as to the front or rear of an existing house must have regard to impacts on neighbouring amenity and the street scene. Wrap-around extensions should refer to the relevant combination of guidance for side and rear or front extensions.

4.13 SINGLE STOREY FRONT EXTENSION AND PORCHES

4.13.1 Front extensions can change the character of the original building and appearance of the streetscene; due to their visibility these kind of extension are most likely to have an impact on the wider streetscene. It is therefore important to invest a high level of design quality in such proposals following the guidance below:

- Extensions that are irregular to an existing pattern of development will only be acceptable where it can be demonstrated they would enhance the streetscene and character of the area. This is likely to be challenging in streets with a consistent pattern of development.
- Front extensions must be designed to respond to and enhance the character of the existing dwelling.
- Front extensions should generally not dominate the appearance of the dwelling. In some cases it may be possible for them to be full-width, but overly-wide or deep extensions



Figure 4.4g: Example of a good side extension wrapping around to incorporate a well-designed porch, successfully integrating with the existing dwelling

which would appear dominant in the streetscene should be avoided. They should generally be no deeper than 1.5m.

4.13.2 Porches can be added to a house to provide a threshold space between the exterior and interior, whilst adding emphasis to the entrance:

- The scale and design of new porches should respond to the existing dwelling. Care should be taken to preserve the appearance of existing features, such as bay windows and avoid porches that would impact these. The roof design of a porch should be carefully considered to ensure its appropriateness to the existing house.
- Existing porches that are open to the street and are an original feature that form part of a local pattern of development should generally not be enclosed.
- The scale, materials and overall design of any front extensions or porch should be informed by the design



Figure 4.4h: A poor example of two porches that have been built up to and over original bay windows. The design fails to respond to the historic pattern of development and materials are low quality.

approach in terms of whether it seeks to be subservient, innovative or seamless (Refer X.X for guidance). The detailed design, including specification of materials, windows and doors, should be informed by the guidance on Detailed Design (Refer X.X for guidance).

4.14 ROOF DESIGN FOR ALL SINGLE STOREY EXTENSIONS

4.14.1 Roofs to single-storey extensions are often visible from rooms on the upper floors of the existing house and neighbouring dwellings. The shape or form of the roof needs to be appropriate to the existing house, the extension itself and surrounding context. It is therefore important to consider their appearance and performance as part of the design following the guidance below:

- The design of roofs for all single-storey extensions must not create unreasonable negative impacts on neighbouring amenity. Roof designs that result in excessive visual intrusion and/or the blocking of natural light to neighbouring properties must be avoided.
- Where a pitched roof is proposed care needs to be taken with how this may relate to windows on the first floor, where the roof meets the outer walls of the existing house. (Refer Figure 4.14a).
- Where a flat roof is proposed, this should not normally be proposed to be used as a terrace or balcony. This is to protect the privacy of adjoining occupiers. However, in some cases it may be possible if it is demonstrated that adjoining occupier's overlooking in both directions is not impacted. The introduction of screening devices to help prevent overlooking from terraces or balconies are generally not considered acceptable as these can be detrimental to suburban character.
- Consideration should be given to how rainwater goods will be accommodated into the design



Figure 4.14a: An example of a roof design to a single storey extension that has been designed to ensure it doesn't overlap with the windows above.

of the roof (Refer X.X for guidance).

- Applicants are advised to consider how the roof of an extension can be used to enhance the environmental performance of their home. This may include providing solar panels or a green roof. Any such proposals are encouraged by the Council but should be clearly shown on drawings submitted with the application. The acceptability of such proposals will however have regards to any potential negative impacts on the visual amenity of neighbouring properties or the streetscene.
- The materials and form of the roof should be informed by the design approach in terms of whether it seeks to be subservient, innovative or seamless (Refer 4.4 for guidance). The detailed design, including specification of materials and rooflights should be informed by the guidance on Detailed Design (Refer X.X for guidance).



Figure 4.14b: A side and front extension with a series of different roof forms results in a poorly considered composition that has a negative impact on the streetscene.

TWO-STOREY EXTENSIONS

4.15 TWO-STOREY REAR EXTENSIONS

4.15.1 Two-storey rear extensions are often desirable to create more space within a home, however they need to be carefully designed to avoid negatively impacting neighbouring properties or the streetscene. Proposals for two-storey rear extensions should consider the surrounding context and ensure:

- For all types of housing, they are positioned such that they do not result in unreasonable loss of daylight to habitable rooms in neighbouring properties or result in an unreasonable level of overlooking.
- For terraced houses, they are only proposed where they would be infilling between two existing two-storey extensions or outriggers and therefore wouldn't impact on neighbouring amenity. Where this is the case, the extension should usually completely fill the space between such existing extensions or outriggers. Where such extensions meet the boundary with a neighbouring property, they should generally be of a height and depth no greater than the existing boundary treatment.
- For semi-detached properties, they are located on one side of the rear of the property that does not abut the adjoined property; or they adjoin the neighbour where it already contains a two-storey rear extension (see Figure 4.15a). Where planning permission is required, two-storey rear extensions should generally be no wider than half the width of the existing house and no deeper than 45° (in plan) as

measured from the nearest window on neighbouring properties to both sides of the dwelling and should not exceed the eaves and roof ridge line of the existing house.

- For both terraced and semi-detached properties, there may be greater potential to create two-storey rear extensions where a joint scheme comes forward, subject to a legal agreement (Refer 4.7 for guidance).
- For detached properties, they are generally be of a depth no greater than 45° as measured from the nearest window on

neighbouring properties to both sides of the dwelling. They should not normally exceed the eaves and roof ridge line of the existing house.

- The form and materials of a two-storey rear extension should be informed by the design approach in terms of whether it seeks to be subservient, innovative or seamless (Refer X.X for guidance). The specification of materials, windows and doors is in accordance with the guidance on Detailed Design (Refer X.X for guidance).



Figure 4.15a: A two-storey extension proposed to a semi-detached where a neighbour already has a two-storey extension.



Figure 4.15b: Example of a two-storey rear extension in a terraced house that infills between existing extensions and outriggers, resulting in no additional impact on neighbouring amenity.



Figure 4.15c: A two storey extension to a semi-detached house set away from the directly adjoining neighbour.

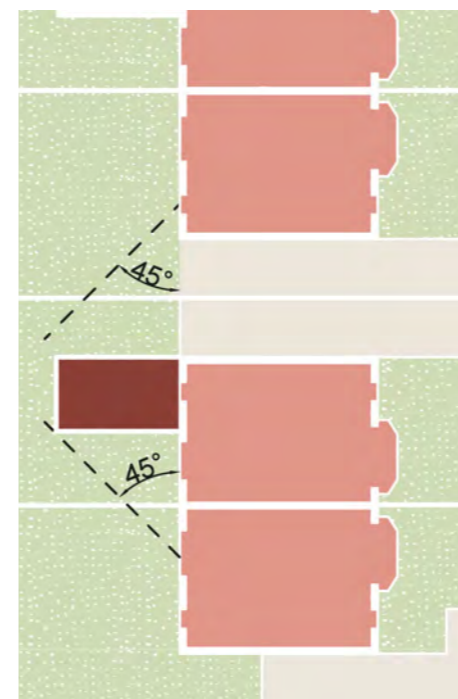


Figure 4.15d: A two storey extension to a semi-detached house set away from the directly adjoining neighbour.

4.16 TWO-STOREY SIDE EXTENSIONS

4.16.1 Two-storey side extensions are appropriate where space is sufficient and the impacts on the townscape and neighbouring properties are considered. Two-storey side extensions must consider the surrounding context and ensure:

- they are designed so as not to create an unreasonable impact on access to daylight and overlooking in habitable rooms on neighbouring properties.
- the existing rhythm of the street, including where the loss of views between houses to the rear of the boundary would not be unreasonably interrupted
- the symmetry of a pair of semi-detached houses or group of terraced houses would not be unreasonably interrupted.
- they do not result in an overly wide or poorly proportioned elevation facing the street.
- if a subservient approach is taken, a setback should be provided. This should be at least 1m at the first floor, while a ground floor setback of approximately 1 brick (215mm) could be provided.
- the form and materials of a two-storey side extension should be informed by the design approach in terms of whether it seeks to be subservient, innovative or seamless (Refer 4.4 for guidance). The specification of materials, windows and doors is in accordance with the guidance on Detailed Design (Refer X.X for guidance).



Figure 4.16a: A good example of a setback at first floor on a two-storey side extension.



Figure 4.16b: A low-quality two storey side extension which is overly dominant, upsetting the balance of this pair of semi-detached homes. The brick neither match nor distinguish from the existing and the junction at the eaves is poorly detailed.



Figure 4.16c: Example of a subservient two-storey side extension that introduces contemporary elements, such as the windows and their surrounds, to help distinguish the new from the existing.

4.17 TWO-STOREY FRONT EXTENSIONS

4.17.1 Two-storey front extensions are likely to have a significant impact on the streetscene and will be determined on a case-by-case basis.

4.18 TWO-STOREY WRAP-AROUND EXTENSIONS

4.18.1 Two-storey wrap around extensions can introduce a large additional volume and therefore need to be carefully designed to respond to the character of the existing dwelling and neighbouring properties.

4.18.2 Two-storey wrap-around extensions which cover the side and rear or side and front of a dwelling will generally be determined on a case-by-case basis and where they follow a combination of guidance for the applicable extension (Refer X.X and X.X for guidance).

CORNER PLOTS

4.19 EXTENSION TO HOUSES ON CORNER PLOTS

4.19.1 Corner plots provide opportunities to create large extensions that face onto the return road and in some cases can create a landmark building feature. Their location makes them visible within the streetscene and can provide an opportunity to improve the appearance of an area. Housing types on corner plots may have capacity for two-storey extensions that extend to the side or rear of a corner plot. They should be designed to create a positive relationship with the existing dwelling, neighbouring properties and street scene and ensure:

- Where extensions are proposed that would project beyond the rear of the existing dwelling, they follow the guidance on rear extensions (Refer X.X for guidance). Where separation with the neighbours and orientation

allows, there may be scope for a deeper extension.

- Where extensions are proposed that would project beyond the side wall of the existing dwelling they follow the guidance on side extensions (Refer X.X for guidance).
- Any projection forward of the building line on the return street is carefully designed as this will be highly visible. This may be resolved through the massing (such as stepping), fenestration or material treatment of the proposal. Views along the return street to the proposed building should be considered.
- The relationship between the roof of the existing property and an extension on a corner is carefully considered. Extensions that result in overbearing end walls, including uncharacteristic gables, will generally not be acceptable.
- The materials and form of an extension to a corner plot property should be informed by the design approach in terms of whether it seeks to

be subservient¹, innovative or seamless (Refer X.X for guidance). The specification of materials, windows and doors is in accordance with the guidance on Detailed Design (Refer X.X for guidance).

¹ Corner plot proposals are unlikely to appear truly subservient due to their prominence in the streetscene.

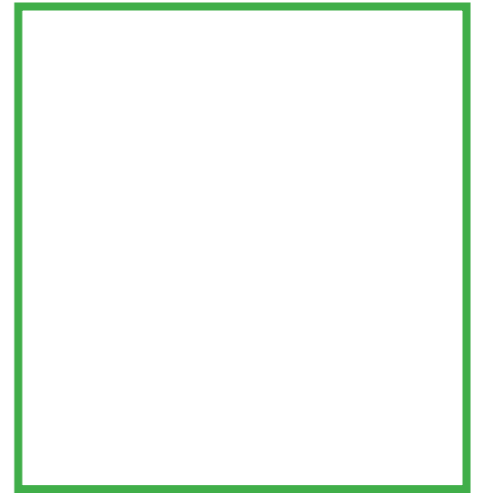


Figure 4.19a: An example of an innovative extension on a corner plot. Despite the introduction of a darker material, the contrast helps to distinguish the old form the new, reducing the appearance of mass of the extension.

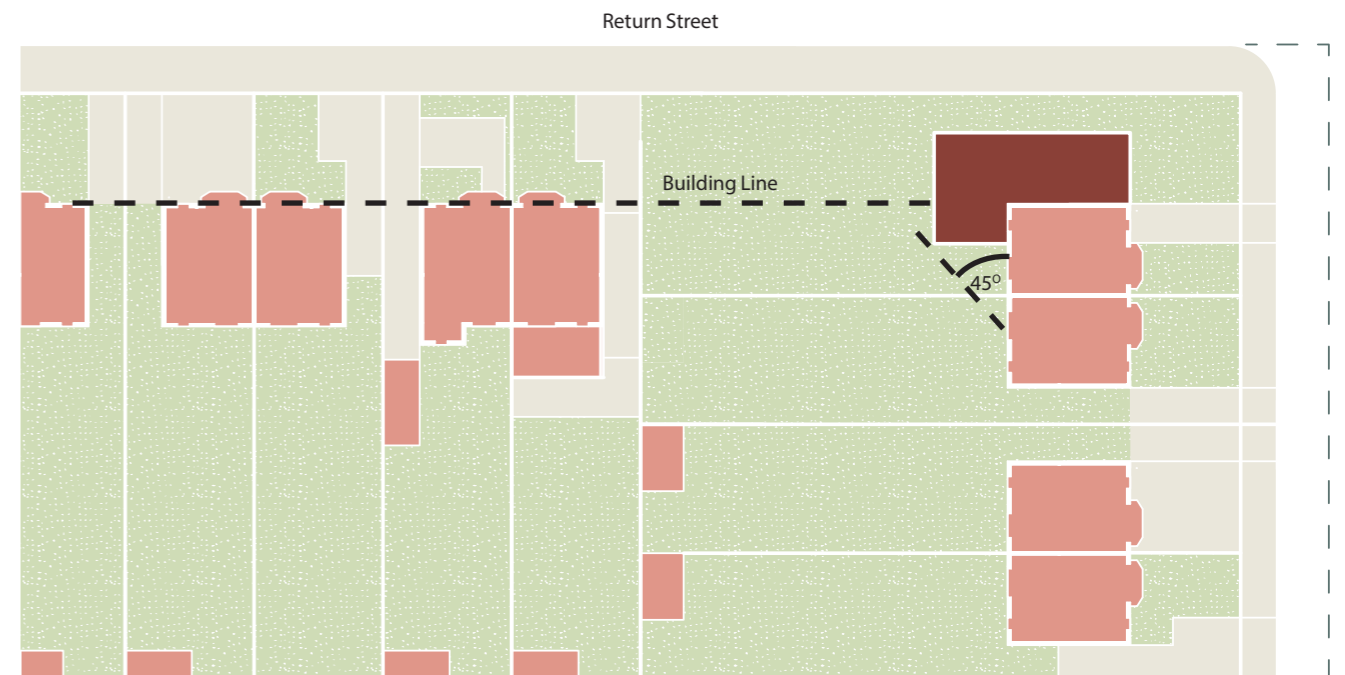


Figure 4.19b: An acceptable corner plot extension

ROOFS

4.20 EXTENSIONS & ALTERATION TO ROOFS

4.20.1 The use of loft space to provide additional accommodation can often provide more space for relatively little cost, using natural light through the use of rooflights. Roof extensions, such as dormer windows or box extensions which project out from the roof slope, should be used where there is a need to enlarge the useable floor space within a loft or where they are more characteristic of the area. Extensions and alterations to roofs should ensure:

- they are ideally located on the rear elevation of a dwelling to minimise impact on the streetscene.
- they are generally set in from the side of the property, except in terraced houses, where they may be full width. This is to maximise the limited width available in terraced properties and avoid a series of uneven gaps between neighbouring dormers. To achieve this, applicants should consider building up the party wall to create a clear divide between the dwelling and its neighbours; this will help to maintain the rhythm of the terraces if neighbours on either side build similar roof sections.
- there is a set back from the eaves line to avoid creating an overbearing rear elevation, except where a compelling design proposal would allow a roof extension to be built directly up from the eaves without creating an overbearing elevation. In such circumstances careful consideration should be given to the material detailing of the junction between new and proposed, and there should generally be a change in

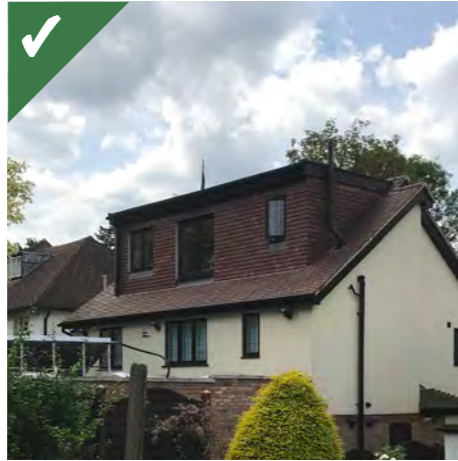


Figure 4.20a: A good example of a dormer which integrates into the dwelling by successfully replicating the tiles and windows of the existing dwelling.



Fig 4.20b: A good example of a full-width dormer that extends directly up from the elevations of the property. The change in material helps to distinguish this full-width roof extensions from the existing property. The proposal also uses a parapet to conceal rainwater collection to avoid clutter of gutters.

material from the existing rear elevation to the proposed.

- elevations visible from neighbouring gardens or the street include generously sized windows. Large blank facades on dormers can have an overbearing appearance and will not generally be acceptable.
- that if proposing a hip to gable roof extensions, it does not interrupt the pattern of roof forms within the streetscene.
- dormer extensions do not wrap around side/rear roof slopes. This can generally result in an overbearing appearance and antagonise the existing building form.
- any proposals for side roof extensions do not dominate the roof form, interrupt the streetscene. They should generally be set in a minimum of 0.3m from the ridge, eaves and edge of the roof. They should be of a width that covers no more than two thirds of the roof of the existing dwelling house. The siting of habitable room windows in the side elevation facing an adjoining dwelling would not normally be acceptable if it results in overlooking to habitable rooms or the first



Figure 4.20c: Example of where a side roof extension has not been setback from the original roof, compromising the composition of the original house.

- 10m of the rear garden of a neighbouring property.
- the scale and form of a roof extension or alteration should be informed by the design approach in terms of whether it seeks to be subservient, innovative or seamless (Refer 4.4 for guidance). The specification of materials, windows and doors is in accordance with the guidance on Detailed Design (Refer X.X for guidance).

4.20.2 It will generally not be acceptable to create dormers on the front of a property. They will only be possible in exceptional circumstances which includes the Areas of Focused Intensification or other locations where they would not negatively impacting the streetscene and not disrupt the rhythm of development along a street. Where this may be possible, they should not be full width and should be positioned to be part of the composition of the front elevation. Such dormers should generally be setback from the eaves line by a minimum of 0.3m and relate to the shape, size, position, and design of the existing doors and windows on the lower floors including space between windows and offsets from side walls. Rooflights may be less disruptive to the streetscene and should be considered for front elevations.



Figure 4.20d: The addition of 3 dormers that have been sympathetically designed to the existing building and respond to the positioning of the windows below.



Figure 4.20e: Example of where a side roof extension has not been setback from the original roof, compromising the composition of the original house.

ADDITIONAL STOREYS

4.21 EXTENDING UPWARDS

4.21.1 Where appropriate, an additional storey added across all or any part of a dwelling can be effective for increasing internal floor area, particularly for dwellings with flat roofs. Proposals for additional storeys should ensure:

- They are generally limited to 1 additional storey, except where in exceptional circumstances, such as on larger flat roofs
- They are generally only applied to detached houses, blocks of flats or on corner plot for any type of house with adequate separation from the boundary of their plot.
- They do not result in

unreasonable loss of light and direct overlooking to habitable rooms or the first 10m of the rear garden in neighbouring properties.

- They are designed to respond to the existing building. Consideration should be taken in pursuing a 'seamless' approach as this could result in overbearing or poorly proportioned elevations where the mass of an elevation is extended by an additional floor without any distinction between old and new. Care should be taken with the proportions of the proposal, including the shape, size, position and design of the doors and windows, and material choices. The proposal may seek to

improve the appearance of the existing dwelling, in which case an 'innovative' approach would be appropriate. Applicants should refer to 4.4 and X.X to help inform their design approach and for further guidance on detailed design.

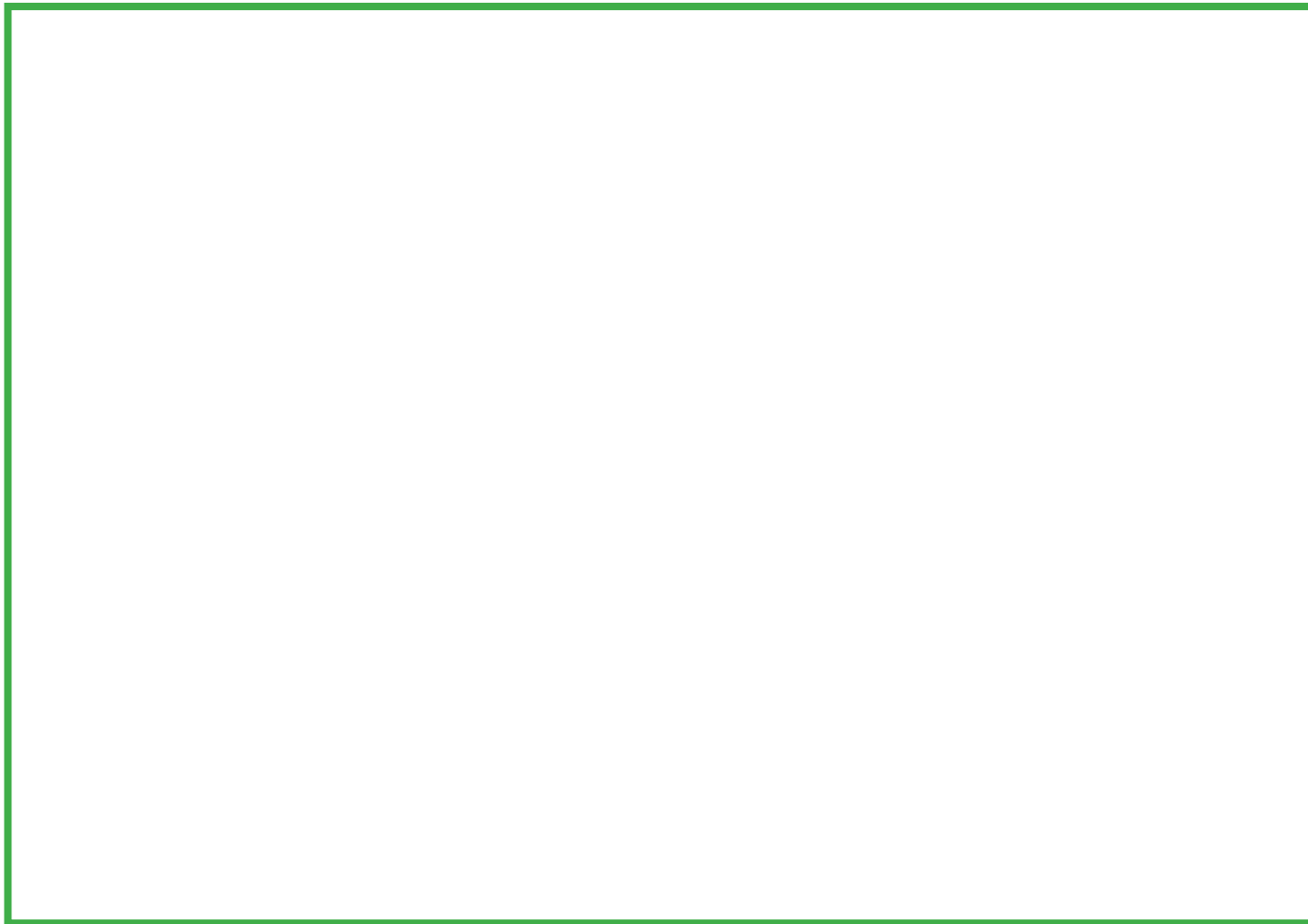


Figure 4.21a: An innovative approach to an additional storey

DETAILED DESIGN FOR RESIDENTIAL EXTENSIONS & ALTERATIONS

THE DETAIL INCORPORATED INTO THE DESIGN OF A PROPOSAL WILL HAVE A SIGNIFICANT IMPACT ON THE FINISHED APPEARANCE OF AN EXTENSION OR ALTERATION. THERE ARE MANY ASPECTS WHICH SHOULD BE CONSIDERED WHEN DEVELOPING PROPOSALS, SUCH AS MATERIAL CHOICE, WINDOWS & DOORS, ARCHITECTURAL DETAILING AND ANCILLARY ITEMS SUCH AS FLUES AND RAINWATER GOODS.

4.22 RAINWATER GOODS & OTHER ANCILLARY ITEMS

4.22.1 Rainwater goods, such as downpipes, and other ancillary items, such as flues and soil vent pipes, can add clutter to the appearance of a dwelling. The impact on the appearance of a proposal should be considered in the early design stages and should ensure:

- The positioning of rainwater goods, flues, vents and other pipes, are in a discreet location and the number of downpipes is limited to avoid cluttered elevations.
- Pipework does not overhang the boundary of neighbouring properties¹. For flat roofs, the introduction of a parapet is often a successful way to contain rainwater collection within the curtilage of the property. Where the roof slopes towards a boundary, proposals should have a wall setback from the boundary to allow for eaves and gutter overhang. A sloped roof should not generally be combined with a parapet (see Figure 4.22c).
- Where for a single storey side extension, consideration is given to future development of a first floor extension. A single storey side extension up to the boundary could limit the design at first floor if eaves and guttering were to extend over the boundary.
- Meter boxes are placed in a discreet location, generally away from the main entrance or where they are not prominent on the front elevation or subterranean where possible.

¹ Information about Party Walls and the Party Wall etc. Act 1996 for boundaries of land belonging to two (or more) different owners is available at: https://www.planningportal.co.uk/info/200187/your_responsibilities/40/other_permissions_you_may_require/16

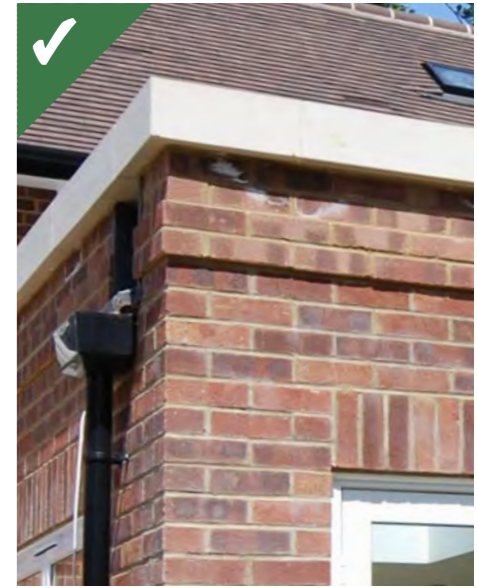


Figure 4.22a: A parapet can be used on a flat roof to remove the need for gutters, creating a less cluttered appearance.

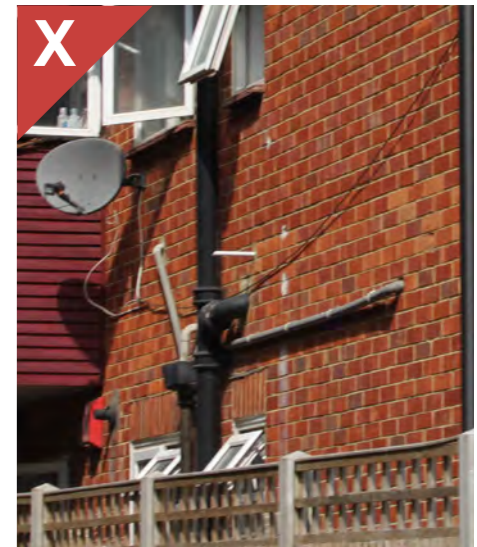


Figure 4.22b: Poorly considered pipework on a side extension, visible from the street

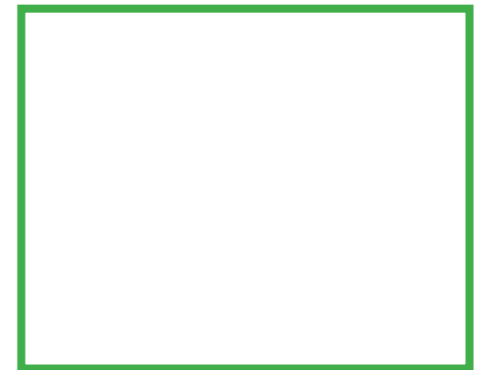


Figure 4.22c: The combination of a pitched roof with a parapet results in an unattractive appearance.

4.23 WINDOWS AND DOORS

4.23.1 Windows and doors should be designed to avoid poorly proportioned, positioned and detailed openings. The relationship between a proposal and existing openings should also be carefully considered. Designs should ensure:

- Where an extension or alteration meets the existing dwelling, they should generally be at least 215mm (1 brick width) clear of any opening on the existing dwelling.
- The positioning and proportions of windows and doors should avoid an elevation that appears imbalanced or that result in large blank facades that would appear overbearing.
- Consideration is given to whether windows or doors as part of an extension or alteration should be:
 - recessed, semi-recessed or flush with the external envelope;
 - in a symmetrical or asymmetrical composition; or
 - match the proportions of windows in the existing house.
- Where the original doors and windows are characteristic features of the existing dwelling or the area, such as bay windows, they are retained.
- Decorative features to door and window surrounds are retained where possible, particularly where they contribute to the character of a building or area.
- The replacement of an unsympathetic door or window is with one of a design that is characteristic of the original dwelling.
- The material choice of new windows and door frames is consistent. Where wooden frames are already used, this should be continued unless



Figure 4.23a: A wall with different depths of window and door reveals. Deeper reveals add emphasis and solidity to the appearance of a house.



Figure 4.23b: An example of well-designed dormer window, set in from the edges of the roof, with a simple frame that does not draw the attention of the eye.

there is a particular design rationale for introducing a different framing system. Metal frames may be appropriate in contemporary proposals.

- Where the porch is an important part of the original design of a house, these are retained. The enclosure of porches with glazing can interrupt the rhythm of a street and should be avoided. The removal of a porch can result in an under-scaled entrance, diminishing the uniformity of a street where the porch is a feature on all houses.
- Where a porch is added to a dwelling, the building style and impact on the street scene is considered.

4.24 MATERIALS

4.24.1 The choice and use of materials for an extension or alteration can significantly impact the appearance of a dwelling. Material choices should consider the neighbouring properties and ensure:

- In areas where there is a strong sense of character through the use of particular materials, extensions and alterations should use materials that respond to this character. Where appropriate, this may allow the introduction of new, high-quality materials, including in historic environments where contemporary materials may be used to offer a contrast to the appearance of traditional materials and enhance the qualities of and provide a clear distinction from the original fabric.
- Materials chosen to match the existing dwelling are carefully chosen to consider the effects of weathering and time. This is crucial where a seamless approach is taken and materials need to match the existing.
- The long-term wearing of materials is considered. Materials such as render and wood can wear drastically if poorly detailed and not maintained, particularly if north



Figure 4.9d: Strong and consistent material palette, features and details contributes to character of a suburban street.

- facing.
- The reuse of materials where possible for a repair or extension. Elevations which are visible from the street, including roofs, should be prioritised in the reuse of materials. A mixture of old and new materials is more appropriate on rear-facing elevations, and should ensure that similar colours, textures and sizes are used to those of the original roof covering.

Innovation or the use of new materials will be encouraged, except where it detracts from the character of an area.

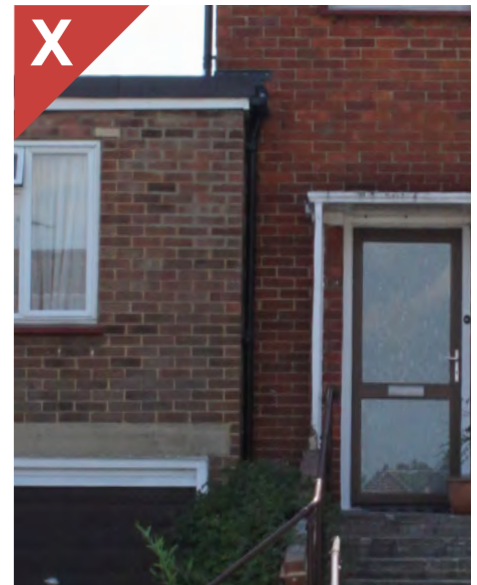


Figure 4.9e: An example of a side extension that attempts to match the existing brick work but fails to do so.



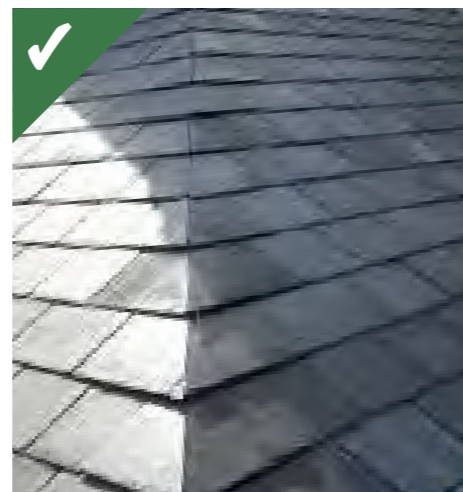
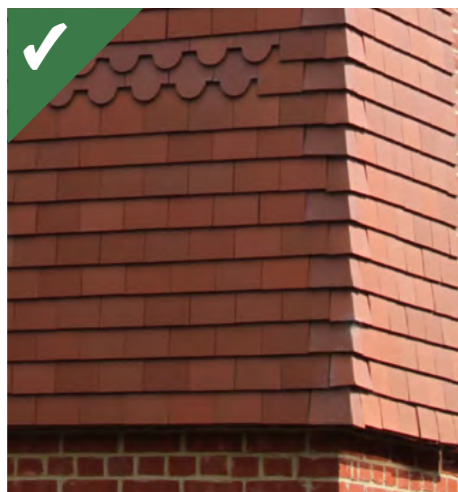
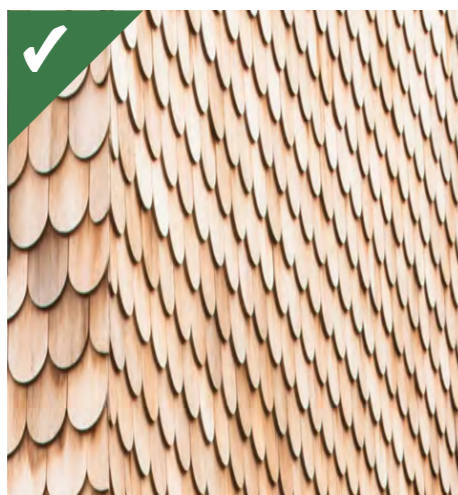
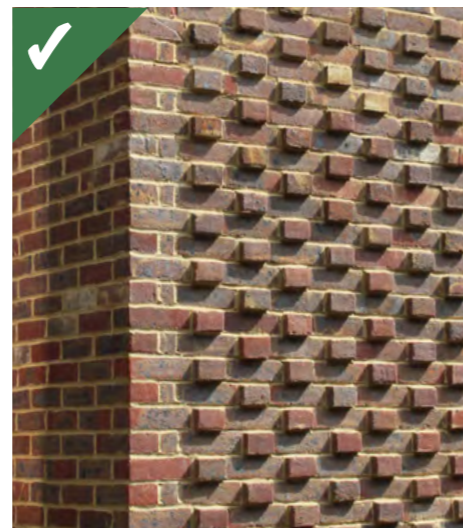
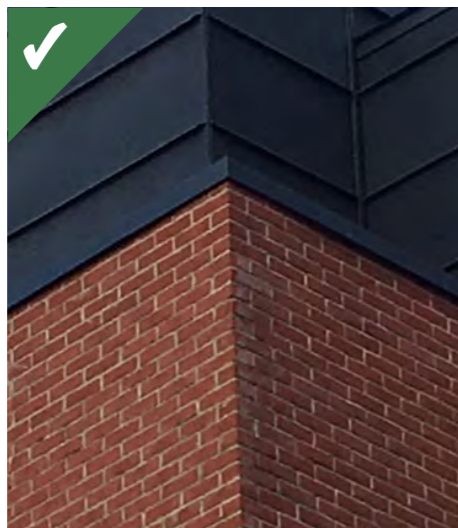
Figure 4.9f: An example of the successful introduction of contemporary materials in this metal clad side extension.



Figure 4.9g: An example of inappropriate cladding to a house that hinders the appearance of the street.

4.25 ARCHITECTURAL DETAILS & FEATURES

4.25.1 The architectural details and decorative features of a building significantly contribute to the appearance of a dwelling. Design proposals for extensions and alterations should consider the response to existing features and how new details may be introduced to add interest and respond to the local character.



Figures 4.25a - 4.25f

- In a seamless approach or where rebuilding part of the existing dwelling, the continuation of plinths, string courses, bond patterns, decorative brickwork, barge boards and fascias should be integrated into the design.
- Decorative features such as terracotta panels, carved bricks, glazed tiles, decorative ridge tiles and finials, lintels or plaques should be retained and restored, if damaged.
- Functional features, such as chimneys help provide rhythm to a street, particularly on semi-detached and terraced housing. Where chimneys are no longer used to service fireplaces, they can provide ventilation and reduce condensation within a home. Where they contribute to the original design, their retention is encouraged. Where a new chimney would be appropriate to the scale and position of an extension, they can assist with the integration into the suburban setting and provide a functional use.
- The addition of contemporary features and details will be encouraged where they respond to the design of the proposal, the existing house and the character of the local area.

OUTBUILDINGS

4.26 BUILDING IN GARDENS

4.26.1 Outbuildings providing additional space associated with a dwelling, such as storage, a home office or summer house should no result in the creation of a separate dwelling and should share access, gardens and services with the main dwelling.

4.26.2 Such proposals may be required to demonstrate that the proposed outbuilding is ancillary to the existing house so as not to be considered a separate dwelling. Where an outbuilding would result in a separate dwelling, applicants should refer to the guidance on subdivision and rear garden development (Refer X.X for guidance).

4.26.3 Outbuildings should be designed to:

- provide an ancillary function such as a home office, garage or storage.
- be located in a position that provides access requirements relevant to the use, but should not be dominant in the street scene or in a location where they would appear to add clutter. Consideration should also be given to the level of natural surveillance over the outbuilding.
- be of a scale that is subservient to the main house. The maximum height and footprint of an outbuilding should be determined on a case-by-case basis, dependent on the size of the plot, scale of the host building and impact on neighbouring amenity.
- be innovative, standalone buildings. Outbuildings do not need to respond to the style of the host dwelling, except where visible from the street. Where visible from the street, proposals for



Figure 4.26a: An example of an outbuilding proving an ancillary living space and home office

outbuildings should respond to the character of the existing dwelling.

- ensure that where a garage is proposed, it should not directly abut a pavement or highway. The garage doors should not open onto a pavement or highway.
- outbuildings and garages should generally be set behind the main building line.

If the outbuilding is to be used as a habitable space¹, proposals should consider heating (and insulation) and access to light and ventilation.

¹ Habitable spaces may include a home office or study.

FRONT GARDENS, PARKING & STORAGE

Except in certain circumstances¹, most front garden works do not require planning permission. All front garden works requiring planning permission should follow the guidance below. Where works do not require planning permission, homeowners should consider the following guidance to achieve the best possible outcome. Homeowners should also consider the need to notify neighbours under the Party Wall Act if proposed works may affect a shared boundary and generally for any proposed development.

4.27 FRONT GARDEN DESIGN, INCLUDING PARKING

4.27.1 The design of front gardens, including landscaping, can significantly enhance a home and the character of the street. Proposals for front gardens and forecourt parking should follow the guidance describe in Figure 4.27a and:

- Provide parking which is proportionate to the size of the dwelling and avoid paving over a significant amount of the forecourt. Forecourts that are completely covered in hardstanding should be avoided, as a minimum a planted border along all boundaries should be provided.
- Allow sufficient space between the car and the dwelling to allow access to the front door and side of the property. Front garden parking must be designed to avoid cars

¹ Circumstances where planning permission is required include where the property is within a Conservation Area, where the works are dealing with a Tree Protection Order or where a proposal seeks to create a new driveway across the pavement. Applicants should contact Council's Planning Department on XXX before undertaking works.

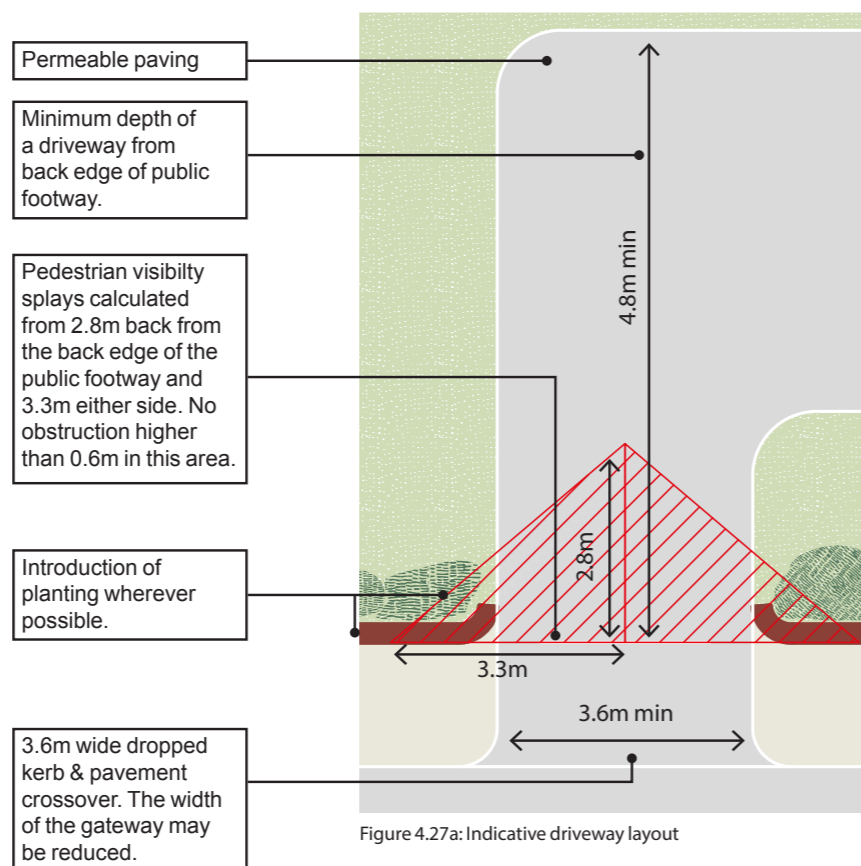


Figure 4.27a: Indicative driveway layout

- overhanging the pavement.
- Generally not include gates, except where they are consistent with and characteristic of the street. Where gates are provided, they must not open outwards and should allow enough space for them to be opened inwardly (if relevant) whilst a car is parked in the forecourt. Where electronic gates are introduced they should enable a pedestrian on the footway to have clear visibility of any vehicle exiting (i.e. they should be railings or have some form of transparency). Gates should not be of a height that blocks visibility of passing pedestrians and should enable visibility from the footway.
- Avoid the need to remove any existing trees or established hedges.
- Introduce new planting wherever possible.
- Introduce permeable paving to new areas of hardstanding to minimise rainwater run-off

issues, as per the requirements of PD².

- There should be no water run-off from the forecourt onto the public highway.
- Repair or restore any original decorative tiled paths that are a characteristic or historic feature of the existing dwelling.
- Pedestrian and visibility splays for the crossover and vehicle access must be in accordance with Croydon Guidance³.
- If a new dropped kerb and crossover is required then applicants must apply for and obtain consent via the Croydon Highways Department⁴.

² For more information, refer to Schedule 2, Part 1, Class F, available at: http://www.legislation.gov.uk/ukxi/2015/596/pdfs/ukxi_20150596_en.pdf

³ Available at: <https://www.croydon.gov.uk/sites/default/files/articles/downloads/visibility-splays-layout.pdf>

⁴ For advice, refer to: <https://www.croydon.gov.uk/sites/default/files/articles/downloads/VCO%20application%20Sep%202016.pdf> and <https://www.croydon.gov.uk/sites/default/files/articles/downloads/Residential%20Driveways%20and%20Car%20Accesses.pdf>.

4.28 FRONT GARDEN BOUNDARY TREATMENTS

4.28.1 Boundary treatments help to define the relationship between a dwelling and the street. They can include garden walls, fences, railings and hedges. A strong front boundary treatment should be incorporated into proposals, particularly where this is characteristic of the street. Boundary treatments visible from the street should:

- Respond to the design of the dwelling;
- Be consistent with the height of other enclosures on the road;
- Avoid the introduction of different styles along the street. Treatments should reinforce the dominant boundary type along the street, ensuring consistency with the style and age of the property;
- Consider well maintained planting as an alternative solution and retain any hedgerow;
- Incorporate visibility splays and sight lines for pedestrian and vehicular safety.

4.29 REFUSE & CYCLE STORAGE

4.29.1 Refuse and bicycles often create clutter on the street scene. Dedicated external storage can resolve the impact on the character of an area. Where possible, this should be located in a discreet location to the side or rear of a property.

Where storage is located in front of a property, it should be:

- Located away from the front boundary and in a discreet location where it does not intrude on the street scene; and

- Be of a design that does not negatively impact the setting of the dwelling or local character. Simple wooden structures or simple metal storage products (Refer Figure X.X) surrounded by landscaping are a common and effective solution, where structurally secure and with a Police security recommendation.

For more advice on landscape design see SPG12¹.

¹ Available on Croydon Council's website at: www.croydon.co.uk

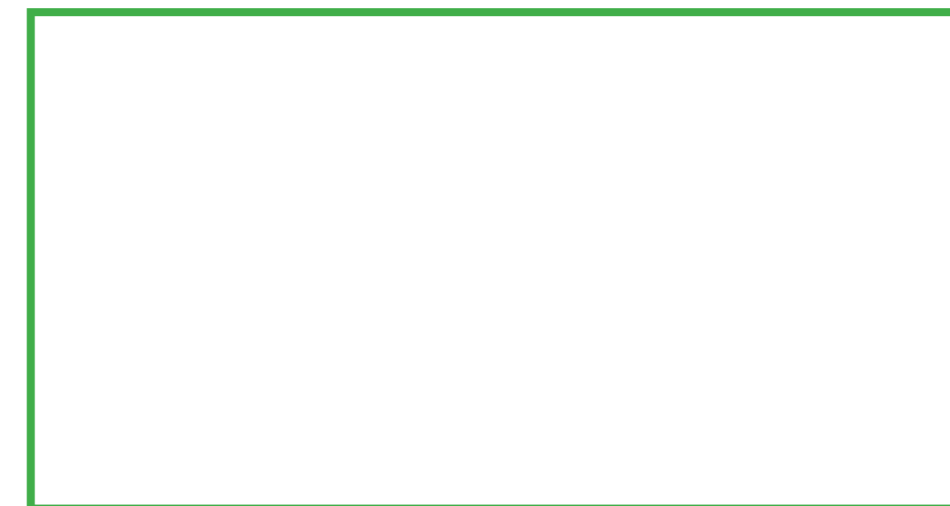


Figure 4.29a: Image: An example of a discreet bin store, designed to respond to the colours of the paving and bordered by planting.



Figure 4.29b: Image: An example of a cycle store.

5.0 APPENDIX

GLOSSARY

ARCHAEOLOGICAL PRIORITY AREAS:

Areas that are known to be of archaeological importance because of past finds, excavations or historical evidence.

BACK LAND:

BLUE BADGE HOLDERS:

CONSERVATION AREAS:

“...means a building which is for the time being included in a list compiled or approved by the Secretary of State under this section; and for the purposes of this Act -

(a) any object or structure fixed to the building

(b) any object or structure within the curtilage of the building which, although not fixed to the building, forms part of the land and has done so since before 1st July 1948, shall subject to subsection (5A)(a) be treated as part of the building.”

CROYDON LOCAL PLAN:

Forecourt – in relation to the local plan and parking

HABITABLE ROOMS:

Habitable rooms are described as any room used or intended to be used for sleeping, cooking, living or eating purposes. Enclosed spaces such as bathrooms or toilet facilities, service rooms, corridors, laundries, hallways, utility rooms or similar spaces are not considered to be habitable rooms.

HARDSTANDING:

An area of paved ground (for example with tiles, bricks, pavers or concrete etc.) that sits outside of the external envelope of a property. This may include driveways and patios.

HERITAGE ASSET:

A building, monument, site, place, area or landscape identified as having a degree of significance meriting consideration in planning decisions, because of its heritage interest. Heritage asset includes designated heritage assets and assets identified by the local planning authority (including local listing)

LISTED BUILDINGS:

Means a building which is for the time being included in a list compiled or approved by the Secretary of State under this section; and for the purposes of this Act -

(a) any object or structure fixed to the building

(b) any object or structure within the curtilage of the building which, although not fixed to the building, forms part of the land and has done so since before 1st July 1948, shall subject to subsection (5A)(a) be treated as part of the building.

LOCAL HERITAGE AREAS:

Local Heritage Areas (LHA) is a designation based upon the original criteria for designating Local Areas of Special Character. The criteria for designating an area as an LHA were consulted upon in autumn 2013 as part of the Croydon Local Plan: Detailed Policies (Preferred and Alternative Options). To be designated as an LHA an area:

- Must be of heritage significance; and

- Meet one or more of the following three criteria:

1. Architecture – the architecture in the area must be of a high quality, distinctive and well preserved.

This is because the collective value of a group of historic buildings has a consistent architectural form, style, features, detailing or materials and the group will often, but not always, have been built as a single development over a short period of time.

2. Townscape – the townscape of the area must be of a high quality, distinctive and well preserved. This

130

is because of the attractive and historic composition of the urban form and the area will often, but not always, have been planned.

3. Landscape – the landscape of the area must be of a high quality, distinctive and well preserved. This is because of the distinguishing quality, extent or features of its historic landscape and it will often, but not always, have been planned.

LOCALLY LISTED BUILDINGS:

The locally listed buildings and structures within Croydon are considered by the public and the Council as having special local architectural or historic interest, to be of significance to the local community and to contribute to the environmental and cultural heritage of the borough. All locally listed buildings should satisfy at least two of the following criteria:

- Authenticity: Buildings and groups selected for the local list should be substantially unaltered and retain the majority of their original features;
- Architectural significance: Buildings which are of good architectural quality or are good examples of a particular building type;
- Historical significance: Buildings which represent specific architectural and social building periods or which are associated with, local historical events, the development of Croydon, well known people or noted designers;
- Technical significance: Buildings that display exceptional innovation and craftsmanship;
- Townscape Value: Buildings and/or groups of buildings which due to their form, massing, appearance and positive role in the streetscene, such as key corner buildings, local landmarks, uniformly designed terraces.

LOCALLY LISTED HISTORIC PARKS AND GARDENS:

The criteria for the local list of historic parks and gardens are set by Historic England along with the London Parks and Gardens Trust. This stipulates that the site have at least one of the following:

- evident historic features or design
- buried archaeology
- connections with famous designers or nurserymen
- connections with nationally or locally famous individuals
- a design typical of a landscape style.

LONDON PLAN:

The strategic plan for London, setting out an economic, environmental, transport and social framework for development.

NATIONAL PLANNING POLICY FRAMEWORK (NPPF):

Published in March 2012, the National Planning Policy Framework is a key part of Government reforms to make the planning system less complex and more accessible, and to promote sustainable growth. The NPPF replaces all existing Planning Policy Statements and Planning Policy Guidance.

OUTRIGGER:

An addition to the main building mass, commonly through a rear extension that is not full-width. These are common in terraced houses and often are part of the original dwelling.

PERMITTED DEVELOPMENT:

Permitted development rights are a national grant of planning permission which allow certain building works and changes of use to be carried out without having to make a planning application.

RAINWATER GOODS:

Items attached to a dwelling to remove rainwater from roofs into the drainage system.

REAR GARDEN DEVELOPMENT:

The construction of new buildings in rear gardens of the existing properties.

REGISTERED PARKS AND GARDENS:

A site included on the Register of Historic Parks and Gardens in England.

Registered parks and gardens are designated heritage assets and subject to the planning policies within the NPPF.

SCHEDULED MONUMENTS:

Means any monument which is for the time being included in the schedule [compiled and maintained by the Secretary of State for Culture, Media and Sport]”.

SETTING OF A HERITAGE ASSET:

The surroundings in which a heritage asset is experienced. Its extent is not fixed and may change as the asset and its surroundings evolve. Elements of a setting may make a positive or negative contribution to the significance of an asset, may affect the ability to appreciate that significance or may be neutr

SIGNIFICANCE:

1) “The value of a heritage asset to this and future generations because of its heritage interest. That interest may be archaeological, architectural, artistic or historic. Significance derives not only from a heritage asset’s physical presence, but also from its setting.”

Annex 2: Glossary, National Planning Policy Framework, Department of Communities and Local Government, 2012

2) “The sum of the cultural and natural heritage values of a place, often set out in a statement of significance.

STREET:

A road that is either adopted or to an adoptable standard, and does not include rear access lanes or driveways.

SUBURB:

A predominantly residential area that has grown up on the outskirts of district and metropolitan centres.

TRANSPORT FOR LONDON (TFL):

Transport for London (TfL) is the organisation responsible for London’s transport system. Its role is to implement the Mayor’s Transport Strategy and manage transport services in London, for which the Mayor has ultimate responsibility.

FIGURES

Unless listed below, all figures are property of Croydon Council.

2.1b - Architect: Selencky Parsons, Photographer: Andy Matthews

2.1c - Peter Barber Architects

2.1e - Proctor & Matthews Architects

2.2c – Chartwell Land & New Homes

2.2d – Chartwell Land & New Homes

2.2e – Chartwell Land & New Homes

2.3c - Coffey Architects (for Brick by Brick)

2.3d – MATA Architects

2.4.1k: Deborah Berke Partners

2.4.1m- Chartwell Land & New Homes

2.4.5c: Coffey Architects (for Brick by Brick)

2.4.6c: Elysian Properties and Tate Harmer Architects

2.4.11b: Photo - Paul Riddle; Architecture - Alison Brooks Architects

2.4.11c: MATA Architects

2.5.1a: Photo- Tim Crocker; Architects- Carl Turner Architects

2.5.1b: Photo- Andy Stagg; Architects- Henley Halebrown

2.5.1c: Chartwell Land & New Homes

2.5.3d: Photo - Jack Hobhouse; Architecture: Haworth Tompkins

2.6.4e: Timetals Ltd.

2.7d: Hayhurst & Co.

2.7e: Hayhurst & Co.

2.7f: James Hitchmough

2.7g: 2B Landscape Consultancy

2.37 (Regina Road Case Study): Stitch

2.40 (Rushden & Ravensdale Case Study): HTA Design LLP

2.41 (Melville Avenue Case Study): MATA Architects

2.42 (Eagle Hill Case Study): Coffey Architects

2.45 (Oval Mews Case Study): Chartwell Land & New Homes

4.1a: Ruth Ward

4.1b: Architect: Selencky Parsons, Photographer: Andy Matthews

4.2b: Photography - Simone Bossi; Architects - Trehwela Williams

4.2d: Photography - Paul Riddle; Architecture - Alison Brooks Architects

4.2e: Photography - Craig Sheppard; Architecture - Scott Architecture

4.14a: Photography - Anna + Tam; Architecture: Nimtim Architects

4.15b: Photography - Andrew Meredith; Architects - Gundry+Ducker Arch.

4.16c: Architect: Selencky Parsons, Photographer: Andy Matthews

4.20b: Office S

4.20d: Threefold Architects

4.9d: Ruth Ward

4.9f: HUT Architecture

4.26a: Photography - Wai Ming Ng; Design - Surman Weston and Joseph Deane

4.29b: Timetals Ltd.

Animation & stills: Matthew Lucraft

USEFUL WEBSITES

CROYDON COUNCIL PLANNING AND CONSERVATION WEB PAGES:

www.croydon.gov.uk/planningandregeneration
www.croydon.gov.uk/planningandregeneration/framework/localplan/clppolicies
www.croydon.gov.uk/planningandregeneration/framework/localplan/supplementary
www.croydon.gov.uk/planningandregeneration/framework/conservation/conservation-areas/
conservation-guidance

GREATER LONDON AUTHORITY (FOR THE LONDON PLAN):

www.london.gov.uk/thelondonplan

MINISTRY OF HOUSING, COMMUNITIES AND LOCAL GOVERNMENT

https://www.gov.uk/government/organisations/ministry-of-housing-communities-and-local-government

CONTACTS

Croydon Council, Bernard Weatherill House, 8 Mint Walk, Croydon CR0 1EA.
Phone: 020 8726 6000
Email: contact.thecouncil@croydon.gov.uk

SPATIAL PLANNING (including Urban Design and Conservation officer)

Phone: 0208 4071385;
Email: spatial.planning@croydon.gov.uk

DEVELOPMENT MANAGEMENT (including Enforcement & Tree Officer)

Email: development.management@croydon.gov.uk

BUILDING CONTROL

Email: building.control@croydon.gov.uk

If English is not your first language and you need help to understand the information contained in this brochure, please contact Croydon Council on Tel: 020 8726 6400. We will then arrange for an interpreter to help you.

Nëse Anglishtja nuk është gjuha juaj e parë dhe ju keni nevojë për ndihmë për të kuptuar përmbajtjen e kësaj broshure, ju lutem telefononi Zyrën e Pranimeve (Admission Team) në Departamentin e Edukimit (Education Department) në numrin **0208 726 6400**.
Ne më pas do të gjejmë një perkthyes për t'ju ndihmuar.

Albanian

ইংরেজী যদি আপনার প্রথম বা মাতৃভাষা না হয় এবং এই পুস্তিকার বিষয়বস্তু বুঝবার জন্য আপনি সাহায্য চান, এডুকেশন ডিপার্টমেন্ট বা শিক্ষা বিভাগের অ্যাডমিশনস্ টীম (ভর্তির দায়িত্বপ্রাপ্ত দল)-কে 0208 726 6400 , এক্সটেনশন 1884 - এই নম্বরে টেলিফোন করবেন। আপনাকে সহায়তাদানের জন্য একজন দোভাষীর ব্যবস্থা করা হবে।

Bengali

Jestliže angličtina není Váš první jazyk a potřebovali byste pomoc s porozuměním obsahu této brožury, zatelefonojte, prosím, Přijímací skupinu (Admission Team) ve Školském oddělení (Education Department) na čísle **0208 726 6400**, S pomocí tlumočnicka Vám potom může být poskytnuta pomoc.

Czech

Si l'anglais n'est pas votre première langue et vous avez besoin d'aide afin de comprendre le contenu de cette brochure, téléphonez à l'Équipe des Admissions ("Admissions Team") au Service de l'Enseignement ("Education Department") au **0208 726 6400**.
On demandera ensuite à un interprète de venir vous aider.

French

જો અંગ્રેજી તમારી પ્રથમ ભાષા ન હોય અને આ પુસ્તિકાની વિગતો સમજવામાં તમને મદદની જરૂર હોય તો, કૃપયા એજ્યુકેશન ડિપાર્ટમેન્ટના એડમિશન્સ ટીમને, ટેલિફોન નંબર: **0208 726 6400** , એક્સ્ટેન્શન 1884 પર ફોન કરો. અમે તમારા માટે ગુજરાતી દુભાષિયાની વ્યવસ્થા કરી આપીશું જે તમને મદદ કરશે.

Gujerati

ਜੇਕਰ ਅੰਗਰੇਜ਼ੀ ਤੁਹਾਡੀ ਪਹਿਲੀ ਬੋਲੀ ਨਹੀਂ ਹੈ ਅਤੇ ਤੁਹਾਨੂੰ ਇਸ ਵਿਤਾਬਚੇ ਵਿਚ ਲਿਖੀ ਜਾਣਕਾਰੀ ਸਮਝਣ ਵਿਚ ਮਦਦ ਦੀ ਲੋੜ ਹੈ ਤਾਂ ਕ੍ਰਿਪਾ ਕਰਕੇ ਐਜੂਕੇਸ਼ਨ ਡਿਪਾਰਟਮੈਂਟ ਵਿਚ ਅਡਮਿਸ਼ਨ ਟੀਮ ਨੂੰ ਇਸ ਨੰਬਰ 'ਤੇ ਫੋਨ ਕਰੋ: **0208 726 6400** ਅਸੀਂ ਤੁਹਾਡੇ ਲਈ ਕਿਸੇ ਇੰਟਰਪ੍ਰਿਟਰ ਦਾ ਪ੍ਰਬੰਧ ਕਰਾਂਗੇ।

Panjabi

Haddii af Ingiriisudu aanay ahayn luqadaada koowaad caawimana aad u baahantahay si aad u fahamto waxa uu ka koobanyahay buugyarahani, fadlan kala soo hadal kooxda ogolaanshaha ee qaybta waxbarashada telifoonka **0208 726 6400**. Intaa ka dib waxa lagu diyaarin doonaa inuu ku caawiyo turjumaan.

Somali

ஆங்கிலம் உங்களுக்கு முதல் மொழியாக இல்லை எனில், மற்றும் இச்சிறு புத்தகத்தில் கொடுக்கப்பட்டுள்ளவற்றை விளங்கிக் கொள்ள உங்களுக்கு உதவி தேவை எனில், தயவு செய்து எஜுகேஷன் டிபார்ட்மென்ட்டிலுள்ள ஆட்மிஷன்ஸ் டிபுடன் **0208 726 6400** என்ற தொலைபேசி எண்ணுடன் தொடர்பு கொள்ளவும். உங்களுக்கு உதவி செய்ய மொழி பெயர்ப்பாளருக்கு சம்மயப்படும்.

Tamil

İngilizce ana diliniz değilse ve bu kitapçığın içeriğini anlamakta yardıma ihtiyacınız varsa lütfen Eğitim Dairesinden (Education Department) Kayıt Ekibine (Admission Team) **0208 726 6400** telefon ediniz. Böylelikle size yardımcı olması için bir tercüman sağlanacaktır.

Turkish

اگر انگریزی آپ کی پہلی زبان نہیں ہے اور اس کتابچے کو سمجھنے کے لئے آپ کو مدد کی ضرورت ہے تو براہ کرم ایجوکیشن ڈیپارٹمنٹ میں ”ایڈمیشن ٹیم“ کو اس نمبر پر فون کیجئے **0208 726 6400** لئے انٹرپرائیٹرس کی سروس کا انتظام کیا جائے گا۔

Urdu